



MAIN POST

Planning & Design
Guidelines

JUNE 2011

Presidio
of San Francisco



CONTENTS

INTRODUCTION

Applying the Design Guidelines

1. DESIGN GUIDELINES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

Character-Defining Features for Spatial Organization and Land Patterns

1.A General Design Guidelines for Spatial Organization and Land Patterns

2. DESIGN GUIDELINES FOR BUILDINGS AND STRUCTURES

Character-Defining Features for Buildings and Structures

2.A General Guidelines for Buildings and Structures

2.B Design Guidelines for Buildings and Structures by Cluster Area

- 2.B.1 El Presidio
- 2.B.2 Funston Avenue
- 2.B.3 Old Parade
- 2.B.4 Main Parade
- 2.B.5 Halleck Street
- 2.B.6 Main Post Bluff
- 2.B.7 West of Main Parade
- 2.B.8 Community District
- 2.B.9 Infantry Terrace

2.C Design Guidelines for New Construction & Building Additions

- 2.C.1 Archaeology Lab
- 2.C.2 Presidio Lodge
- 2.C.3 Presidio Theater
- 2.C.4 Presidio Chapel
- 2.C.5 Other Building Additions

3. DESIGN GUIDELINES FOR OPEN SPACE, VEGETATION, AND VIEWS

Character-Defining Features for Open Space, Vegetation, and Views
Historic Views

3.A General Guidelines for Open Space, Vegetation, and Views

3.B Design Guidelines for Open Space, Vegetation, and Views by Cluster Area

- 3.B.1 El Presidio
- 3.B.2 Funston Avenue
- 3.B.3 Old Parade
- 3.B.4 Main Parade
- 3.B.5 Halleck Street
- 3.B.6 Main Post Bluff
- 3.B.7 West of Main Parade
- 3.B.8 Community District
- 3.B.9 Infantry Terrace

4. DESIGN GUIDELINES FOR CIRCULATION AND ACCESS

Character-Defining Features for Circulation and Access

4.A General Guidelines for Vehicular Circulation and Parking

4.B General Guidelines for Pedestrian Circulation

Presidio *of* San Francisco

Established by Spain in 1776, the Presidio is the birthplace of San Francisco. After having declared its independence from Spain in 1821, Mexico flew its flag over the post until 1846 when John C. Fremont took possession of the Presidio and claimed California for the United States. By order of President Millard Fillmore, in 1850 the U.S. Army established a command center in the Presidio, which eventually became the headquarters for the Division of the Pacific. Inspired by the City Beautiful movement and the parks of Olmsted, the Army adhered to a picturesque aesthetic in developing the Presidio with winding, tree-lined boulevards, forested ridges, and formally landscaped entrances. By World War II, the Presidio was one of the nation's pre-eminent military installations.

The Presidio was designated a National Historic Landmark in 1962, and in 1972 Congress identified it as a future national park site should it no longer be needed by the Army. The Base Realignment and Closure Commission identified the historic post for closure in 1989, and the Army left in 1994.

The historic buildings and landscapes that distinguish the Presidio also present financial and management challenges that are unique among national parks. In response to these challenges, Congress established a new model for managing this particular site as a financially self-sustaining national park. The Presidio Trust Act was passed in 1996, transferring jurisdiction of the Presidio's interior lands and more than 700 of its buildings to the Presidio Trust. The Trust's mission is to preserve the Presidio as an enduring resource for the American people. The Trust works closely with the National Park Service and the Golden Gate National Parks Conservancy in managing the Presidio and protecting its resources.



INTRODUCTION

Since its founding, the Main Post has served as the administrative and cultural center of the Presidio. The Main Post is the oldest part of the Presidio. It dates from 1776, when the Spanish constructed a military garrison from adobe bricks and clay tile. Naming their post *el Presidio de San Francisco*, this humble structure marked the founding of the Presidio, as well as the birthplace of the city of San Francisco. For over two centuries and under three flags, the Presidio has evolved in response to the changing needs of a nation. When the U.S. Army left the Presidio in 1994, they left behind an extraordinary array of historic buildings, historic landscapes, and open spaces spread over nearly 1,500 acres.

Today the Main Post remains the heart of the Presidio, retaining its role as the historic, social, and administrative center of the post. Now the heart of a 21st-century park, the Main Post will continue to evolve to meet its new role. The Presidio's historic structures are being rehabilitated to house new cultural and educational uses, as well as visitor services and amenities, that serve a growing number of park visitors. New educational programs and special events will animate the Main Post's open spaces and provide new vehicles for the public to understand the Presidio's rich history and enjoy its scenic beauty.

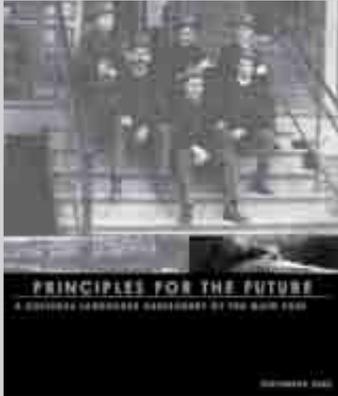
The Main Post Planning & Design Guidelines (Guidelines) were developed to recognize and protect the historic character of the Main Post's

archaeological resources, historic buildings and cultural landscapes, so that future changes will not compromise its significance. The *Guidelines* build upon and integrate a number of prior cultural resource planning and compliance efforts focused on the Main Post (see Figure B).



Figure A

Aerial view of the Main Post with the City of San Francisco in the backdrop.



2002 Main Post Cultural Landscape Assessment (CLA)

The *2002 Main Post Cultural Landscape Assessment (CLA)* outlines the complex layers of development in the fabric of the Main Post. The *Guidelines* incorporate and build upon the recommendations put forth in the *CLA*, providing a greater level of detail than in that document. In 2011, the Trust initiated an effort to update the *CLA*, augmenting it with new information so that it follows the standardized format of a *Cultural Landscape Report (CLR)*. The Main Post *CLR* identifies nine discrete cluster areas within the Main Post. Although these cluster areas reflect the historical development of the Main Post, they are not historical designations, but rather sub-districts of the Main Post that contain building ensembles and landscapes that are visually cohesive and are generally related in size, scale, color, building type, and period of development. The *Guidelines* use the concept of cluster areas to present specific guidance for building ensembles, understanding that due to the complexity of the Main Post landscape, there is no “one size fits all” set of guidelines.



The Presidio Trust Management Plan

The *Guidelines* build upon the high-level planning guidelines for the Main Post originally set forth in the 2002 *Presidio Trust Management Plan (PTMP)*. The *Guidelines* are organized into the same four categories used in *PTMP* (Spatial Organization and Land Use; Buildings and Structures; Open Space, Vegetation, and Views; Circulation and Access) and are summarized in Figure C on page 3.



2010 Main Post Update

In 2010 the Presidio Trust released the *Main Post Update* to the *Presidio Trust Management Plan (MPU)*. This document updates and provides greater specificity about the future of the Main Post district, and includes specific information about a handful of projects that involve new construction in the Main Post. The projects analyzed in the *MPU* were refined over several years in consultation with the National Park Service, California Office of Historic Preservation, the Advisory Council on Historic Preservation, community and preservation organizations, and members of the public as part of a Section 106 consultation for the *MPU*. This process resulted in a programmatic agreement, which includes project descriptions and parameters for the size, scale, appearance, and height for each project. These *Guidelines* incorporate and build upon these project descriptions and parameters.

Figure B

Prior cultural resource planning and compliance efforts for the Main Post.

PTMP'S PLANNING GUIDELINES FOR THE MAIN POST DISTRICT

1. Spatial Organization and Land Use Patterns

- Maintain the Main Post as the “heart of the Presidio” through rehabilitation, reuse, and interpretation of historic buildings, open spaces, and archeological resources. Consider selective placement of compatibly-scaled infill construction and/or landscape treatments to strengthen the articulation of the historic open spaces and provide a rich visitor experience.

2. Buildings and Structure

- Research, protect, enhance, and interpret the significant archeological resources of El Presidio as a more visible element of the Main Post.
- Through coordinated rehabilitation of buildings and adjacent historic landscapes, retain and enhance the key historic building clusters, streetscapes, and neighborhoods that define the Main Post.
- Re-establish historic connections between buildings and their associated parade grounds and open spaces.
- Orient new buildings or structures to reinforce the historic framework and layout of the Main Post. Scale, massing, height, materials, and color of infill construction must be compatible with the character of adjacent buildings. Maximum height should be no more than 30 feet to 45 feet.

3. Open Space, Vegetation, and Views

- Retain and enhance historically significant open spaces such as the El Presidio plaza, the Civil War-era Old Parade Ground, the Main Parade ground, and Pershing Square; designed landscape features such as the historic Alameda entrance; streetscapes such as Infantry Terrace, Halleck Street, Funston Avenue, and Montgomery Street; and the Presidio Chapel landscape.
- Restore the Main Parade ground and reinforce the edges of historic open spaces through new design features.
- Commemorate and/or delineate the location of significant historic elements of the Main Post such as the El Presidio walls and building footprints and the Alameda entrance.
- Improve pedestrian and visual connections between the Main Post and Crissy Field (Area B). Reinforce the historic connection along Halleck Street. Incorporate an open space connection to Crissy Field (Area B) as part of the planning for reconstruction of Doyle Drive.
- Maintain small structures and symbolic objects, such as the Centennial Tree located on the Main Parade ground, the cannons, and the flagpole, that evoke a sense of the Main Post's history.
- Re-establish historic views and visual connections, such as those between Infantry Terrace and the Main Parade ground. Retain and enhance views from the Main Post to the bay.

4. Circulation and Access

- Simplify the road networks, clarify circulation, and create a hierarchy of routes.
- Maintain Halleck Street as the primary connection to Crissy Field.
- Consider removal or reduction of large surface parking lots.
- Develop pedestrian and bicycle networks.
- Develop a transit hub at the north end of the Main Post.

Figure C

Planning Guidelines for the Main Post were included in the 2002 *PTMP*. These guidelines outline broad concepts that continue to guide the development of the Main Post. The current *Guidelines* build on these concepts and offer design-focused guidelines for both building and landscape projects.

APPLYING THE DESIGN GUIDELINES

The Presidio Trust is responsible for complying with federal environmental and historic preservation laws. A compliance process is used for all projects at the Presidio. It was developed to consider effects of new building construction, and rehabilitation of existing buildings, and landscapes early in the planning stages. The Trust requires that all projects, whether undertaken by developers or tenants working on behalf of the Trust, or undertaken by the Trust itself, be governed by review procedures. These procedures are set forth in formal agreement documents, and include opportunities for participating agencies and organizations to comment on Trust projects before they are approved.

There are several review steps in the process that proposed projects must follow, from initial consultation with Presidio Trust staff, to the final stage where contract documents are reviewed by the Trust to obtain a building permit. All undertakings at the Presidio will require N² consultation and review. N² review is an interdisciplinary review process ensuring that rehabilitation efforts comply with the National Environment Protection Act (NEPA) and the

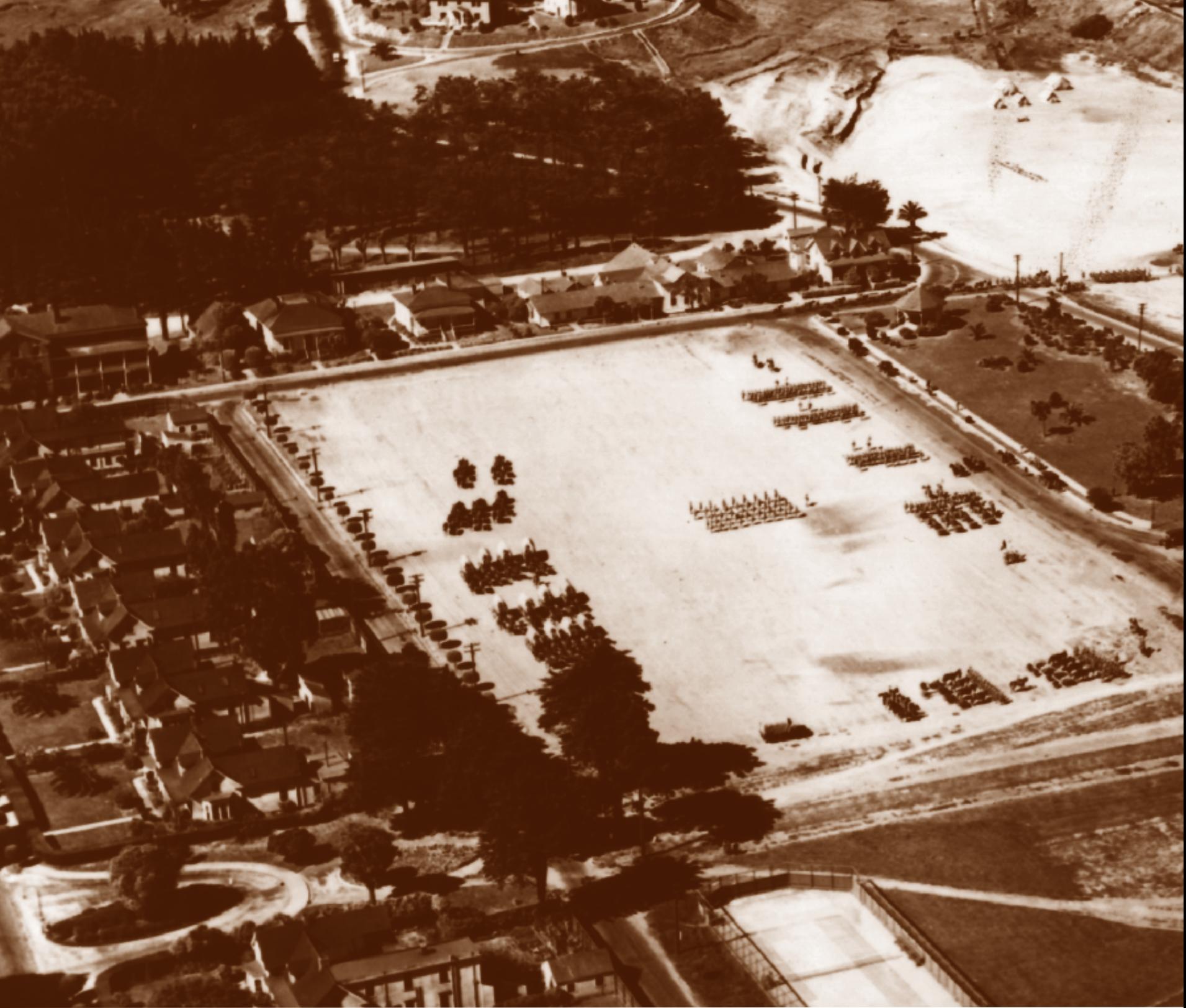
National Historic Preservation Act (NHPA). N² considers potential impacts to environmental, historic, and archaeological resources in the initial planning stage of projects.

In tandem with N², design review is required for projects that have design components. The *Guidelines* come into play at the initial project development stage and N² review, and are the basis upon which Design Review is conducted. The Design Review Committee (DRC) is responsible for maintaining the design review process, and is made up of Presidio Trust staff members who are design professionals.

The goal of the *Guidelines* is to direct planning and design in order to achieve compatible projects that enhance the Main Post. The *Guidelines* are also used by the Presidio Trust when developing its own projects and when reviewing projects prepared by third parties. Another aspect of the *Guidelines* is that they have been evaluated and reviewed by parties to the Presidio Trust's NHPA agreement documents so that they may facilitate review and comment on Trust projects by these parties.

These *Guidelines* satisfy the Trust's commitment to write district-wide guidelines described in Stipulation II.B.2 — *Main Post District-Wide Guidelines* of the *Programmatic Agreement for the MPU (PA-MPU)*. Another commitment, to write project-specific guidelines (Stipulation II.B.3) will be met before design commences for each specific project. These project-specific design guidelines will incorporate recommendations developed in the *Main Post CLR-MP*, in *Historic Structures Reports* for applicable projects, and the project parameters presented in this document.

These *Guidelines* are intended only to improve the internal management of the Presidio Trust and are not intended to, and do not, create any right or benefit, substantive or procedural, enforceable at law or in equity by any party against the United States, its departments, agencies, or entities, its officers, employees, or agents, or any other person.



1. Spatial Organization and Land Patterns

1. SPATIAL ORGANIZATION AND LAND PATTERNS

The Main Post is a complex landscape. This complexity is what gives the Main Post richness and character. Although it grew by accretion over a long period of time, its development was shaped by a series of underlying spatial patterns and relationships that have persisted throughout its evolution. The buildings and landscapes at the Main Post are united by a street system that creates a strong controlling geometry. Three principal open spaces – El Presidio, the Old Parade, and the Main Parade – form the principal cores around which most buildings were built. The building ensembles themselves possess an identifiable set of character-defining features.

The Main Post's critical spatial patterns have been synthesized and distilled into a set of character-defining features (Figure 1-B) and design guidelines for spatial organization and land use. The design guidelines in this section were developed to ensure that character-defining spatial patterns of the historic Main Post will be preserved as the district is rehabilitated.



Figure 1-A
Aerial view of the Main Post.

CHARACTER-DEFINING FEATURES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

CHARACTER-DEFINING FEATURES FOR SPATIAL ORGANIZATION AND LAND PATTERNS
<ul style="list-style-type: none">• Three parallel rows of buildings separated by open spaces• North/south orientation to bay• Three primary open spaces (El Presidio, Old Parade, Main Parade)• Orthogonal buildings and street grid• Repetition/seriality• Rhythm• Fronts and backs• Internal views• Views to bay• Landscape setting• Open ends of the Main Parade• Topography

2002 PTMP SPATIAL ORGANIZATION AND LAND PATTERNS GUIDELINE

- Maintain the Main Post as the “heart of the Presidio” through rehabilitation, reuse, and interpretation of historic buildings, open spaces, and archeological resources. Consider selective placement of compatibly-scaled infill construction and/or landscape treatments to strengthen the articulation of the historic open spaces and provide a rich visitor experience.

Figure 1-B

Character-defining features for Spatial Organization and Land Patterns as determined in Section 106 Design Workshop with the NPS in 2008..

In 2008, representatives from the National Park Service and the Presidio Trust held a design workshop as part of the Main Post’s Section 106 process.

As part of the discussion on the Main Post, the group produced the following list of character-defining features for the site. Additional character-defining features for buildings, also developed during this workshop, are found on page 15.

1.A GENERAL DESIGN GUIDELINES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

1.A.1 Three Parallel Rows of Buildings Separated by Open Space

The Main Post's three open spaces were defined by three parallel rows of buildings. These rows are 1) the large, red-brick Montgomery Street Barracks; 2) the thirteen nearly identical Officers' Quarters on Funston Avenue; and 3) the less formal cluster of buildings along Graham and Anza Street (which was partially demolished by the Army in the 1950s). See Figure 1-C.

1.A.1.a Retain the visual and spatial cohesiveness that each row creates.

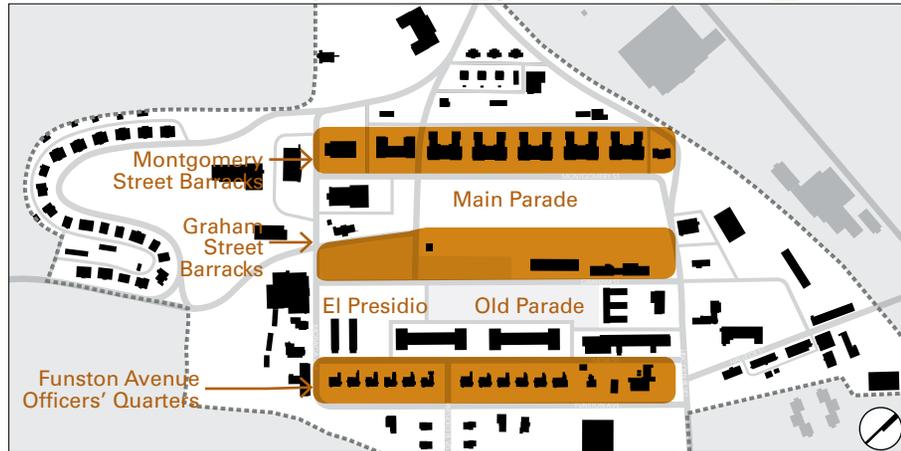


Figure 1-C
Three parallel rows of buildings separated by the Main Parade and El Presidio/Old Parade.

1.A.2 North/South Orientation to Bay

The site is organized hierarchically from south to north. The head of the Post, located at the south end on a higher elevation, included ceremonial and prestigious uses like the Officers' Club, the chapel, and the officers' quarters on Infantry Terrace. Historically, these buildings were oriented to provide expansive views of Main Post and San Francisco Bay. See Figure 1-D.

1.A.2.a New buildings should be sited with an orthogonal orientation to the Main Post, and maintain a north/south axis with their massing.



Figure 1-D
North/south orientation of buildings provide expansive views of the San Francisco Bay.

1.A.3 Three Primary Open Spaces

The spatial framework of the Main Post consists of three primary open spaces. These three open spaces are El Presidio, the Old Parade, and the Main Parade. Historically these three open spaces were well-defined (see Figure 1-E). However, starting in the late 1930s, the Army began making changes to the Main Post that significantly altered the historic character, appearance, and separation between El Presidio's parade and the Old Parade. First, the construction of Buildings 35, 38 and 39 on the eastern portion of the Old Parade made it much narrower and eliminated a ceremonial walkway that demarcated the two parades. Up until this time, El Presidio's parade was an open space, paved in hard-packed earth, while the surface of the Old Parade was turf. After Buildings 38 and 39 were built, El Presidio's parade was paved with asphalt and converted into a parking lot, and, in 1941, two temporary wood barracks (Buildings 40 and 41) were built within it.

From the end of the Second World War to the early 1960s, the Army made additional changes to the Main Post's open spaces. They demolished the group of buildings situated between Anza and Graham Street south of Buildings 86 and 87. They paved and widened the Main Parade for use as a parking lot, and Anza Street lost the definition of its edges that buildings once

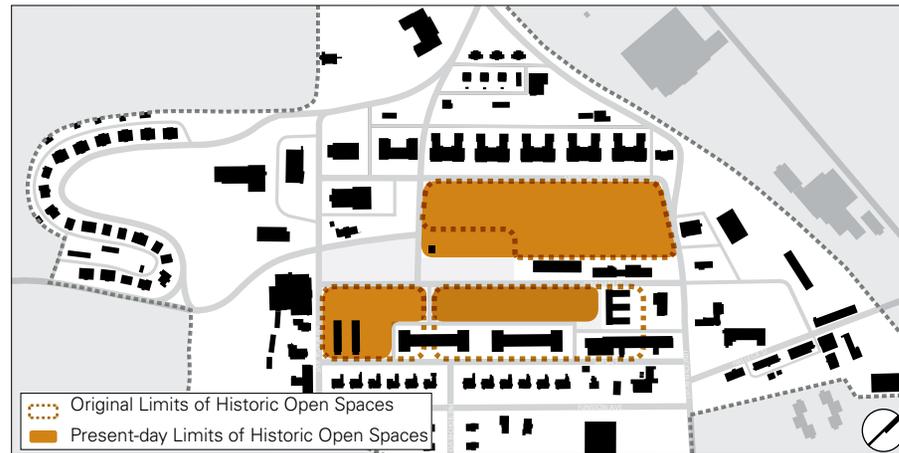


Figure 1-E
Three primary open spaces: Main Parade, El Presidio, and Old Parade.

provided. And finally, in 1968 they constructed Building 34. These actions completely changed the character of the Main Parade and eliminated the building mass that separated it visually from the Old Parade. Parked cars and asphalt took the place of the original parade ground.

As a result of these changes, much of the distinction among the three Main Post open spaces has been lost, and their spatial integrity has been greatly compromised. As envisioned in the PTMP and articulated in the Main Post Update, future efforts will restore the definition between the three parades, to enhance the

cultural landscape that remains, and return some missing elements to the historic setting. These efforts include:

- 1.A.3.a Define the perimeter of the original El Presidio and empty its central open space of cars; consider select building removal.
- 1.A.3.b Enhance the separation between the Main and Old Parades by placing buildings between Graham and Anza Streets.
- 1.A.3.c Narrow the Main Parade and restore the definition to its eastern edge with buildings, landscape, or hardscape treatments.

1.A.4 *Orthogonal Buildings and Street Grid*

The Main Post is defined by its rectilinear form overlooking San Francisco Bay. The original rectilinear geometry of El Presidio has generated the layout of the roads, buildings, and open spaces as the Main Post expanded over time. See Figure 1-F.

1.A.4.a Future changes should be developed with consideration toward the development and geometries of the Main Post.

1.A.5 *Repetition/Seriality/Rhythm*

Construction campaigns in the Main Post were historically episodic, with groups of buildings appearing in response to available funding, events or operational efforts. The Main Post district has a distinct military character evident in the buildings, roads, walks, trees and other landscape elements. The bulk of the Main Post is made up of evenly spaced rows of identical buildings. Though the buildings vary in scale from small houses to large barracks, they share a common alignment, step evenly down the slope, and are separated by a open space. Individual siting is reserved for special elements such as the Officers' Club, the Chapel, or the flagpole. Buildings have simple geometries with spare facades of punched openings and minimal decoration. Streets, trees and walks follow the straight, evenly spaced lines of the buildings. This order was also used in the arrangement of tents, artillery, and troops on the Post's drill fields and parade ground. See Figure 1-G.

1.A.5.a Proposed alterations and/or additions should respect the strong existing repetitive building patterns.



Figure 1-F
Rectilinear geometry of the Main Post with orthogonal buildings and street grid.

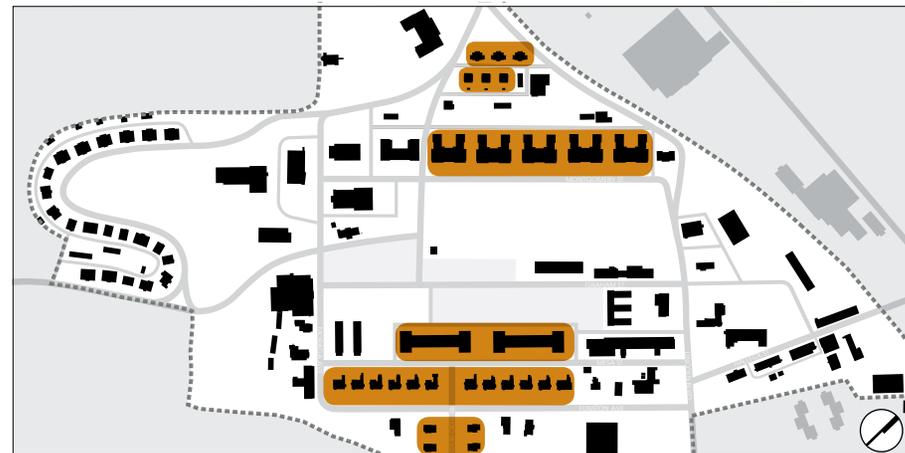


Figure 1-G
Rows of identical buildings demonstrate the patterns of military order in the landscape.

1.A.6 Fronts and Backs

The four major rows of buildings that comprise the body of the Main Post have distinct “fronts” and “backs.” The fronts feature formal facades overlooking lawns, streets and/or parade grounds. The backs are utilitarian in character with service entries, alley-like streets, outbuildings and utility structures. See Figure 1-H.

1.A.6.a Maintain historic orientation and characteristics of fronts and backs.

1.A.7 Internal Views and Views to Bay

Because of its topography, the head of the Main Post near El Presidio has commanding views of the water. The north/south orientation of the Main Post provides expansive views to the bay. Internal views going east/west also provide views to prominent landscapes and site features. See Figure 1-I.

1.A.7.a New buildings should not obstruct existing views of San Francisco Bay and they should be designed to preserve important east/west views.

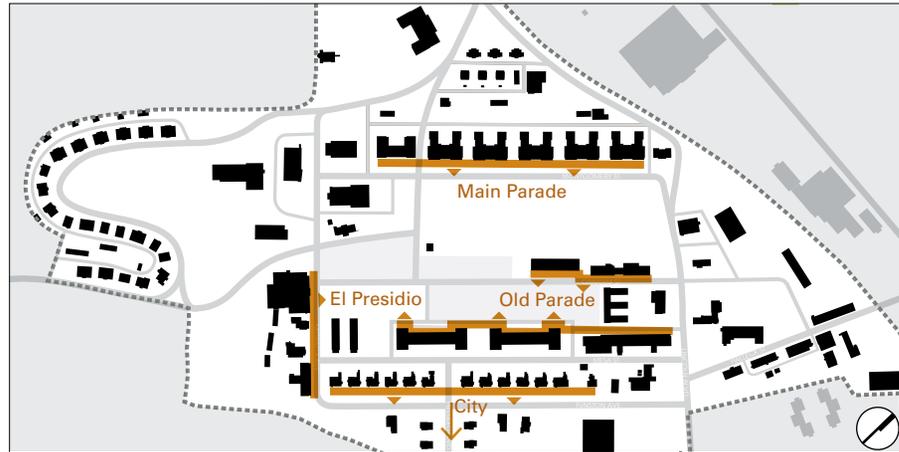


Figure 1-H

Historic orientation of buildings fronting on the three primary open spaces. The Funston Avenue Officers' Quarters faces east towards the City of San Francisco.

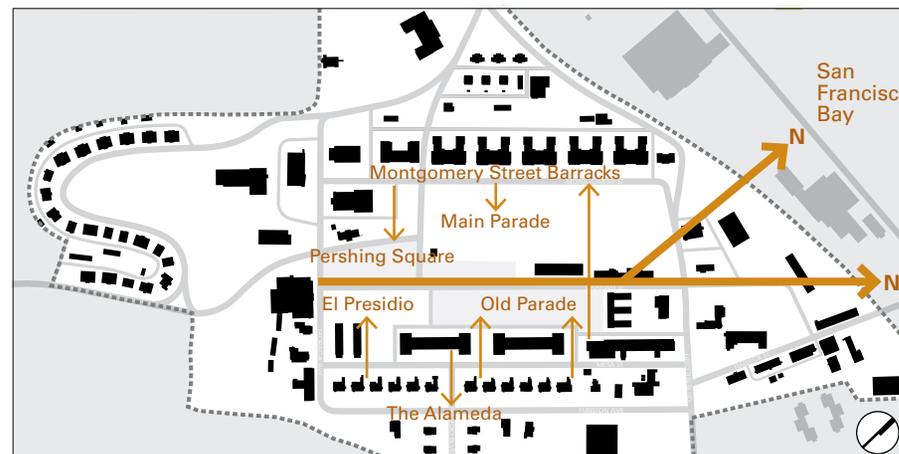


Figure 1-I

North/south views towards the bay. East/west views to prominent features in the Main Post.

1.A.8 Landscape Setting

In the late 19th century, the Army began transforming the landscape of the Presidio to make it appear more formal and imposing. This was accomplished at the Main Post by planting cypress trees around the entry garden at the the Alameda, and establishing formal gardens along Funston Avenue facing east towards the city. The Presidio Forest was planted at this time, in rows across the hills to the east and south as a backdrop to visually enclose the post. See Figure 1-J.

1.A.8.a Preserve the historic forest and designed landscape to convey its historic intent.



Figure 1-J

The Presidio Forest is a historically significant contributing resource to the landmark district. Its purpose is to enhance the Presidio's appearance and clearly distinguish the Presidio from the adjacent city.

1.A.9 Open Ends of the Main Parade

The rectilinear geometry of the Main Parade ground, whose long axis ran north and south, defines the space and views of the Main Parade. The Main Parade was framed on its two longer sides by the massive Montgomery Street barracks on the west and the Graham Street buildings on the east. The shorter ends open out to the larger surroundings of the Infantry Terrace hill to the south and the sweeping views of the bay.

1.A.9.a Enhance and reinforce the Main Parade's open ends and preserve the views to the hillsides to the south and the bay to the north.

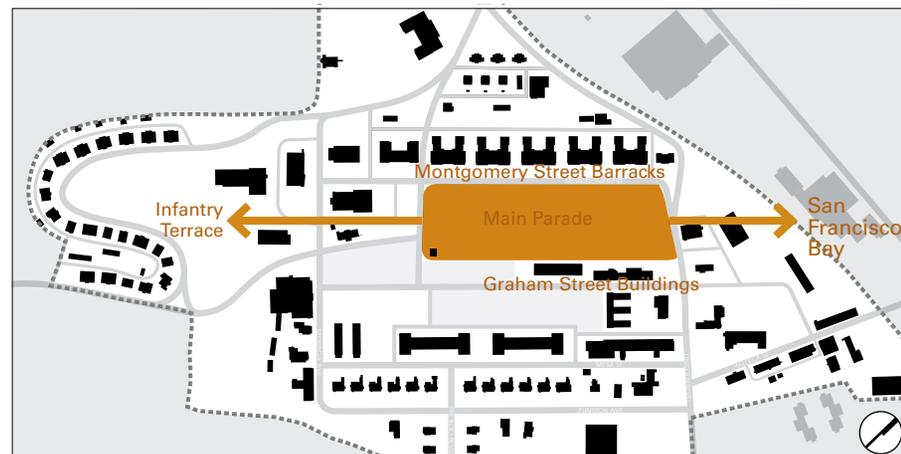


Figure 1-K

Retain the relatively open north and south ends of the Main Parade.

1.A.10 Topography

The Main Post is sited on a natural plateau that slopes north toward the San Francisco Bay. Building patterns on the site respond to influences of topography. The layout of Infantry Terrace follows the curving forms of the topography around the post. Patterns of building at the northern end of the site are oriented with respect to the line of bluff above the shore. Today, the fundamental relationship between the orthogonal layout of the Main Post and the surrounding landscape remains intact. See Figure 1-L.

1.A.10.a Future planning should strive to protect the distinction between the rectilinear Main Post proper and the curvilinear forms of the surrounding landscape.

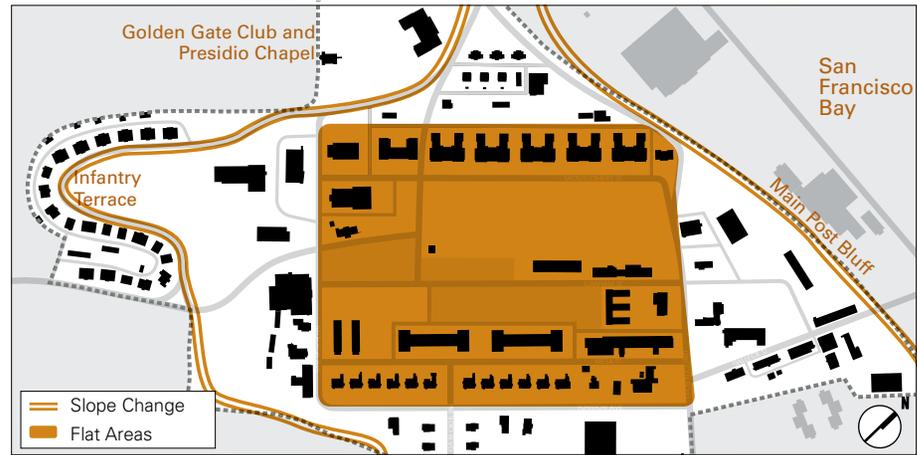


Figure 1-L

The Main Post site slopes toward the bay. A number of buildings are oriented based on the natural curvilinear patterns and topography.



2. Buildings and Structures

2. BUILDINGS AND STRUCTURES

The design guidelines in this document provide guidance to architects and planners developing projects for existing historic buildings and new construction located within the Main Post. Whether the proposed project is a rehabilitation of a historic building or a new free-standing building, it must be compatible with the Main Post's historic character, and respect the fact that the Presidio is a National Historic Landmark. The treatment strategy that is most often appropriate for the Main Post is "rehabilitation." As defined by the *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (NPS 1995), rehabilitation allows for contemporary new uses for a historic building, and for adding new features to a historic district, provided the character-defining features of a resource are not impaired.

The Main Post Update states that a maximum of 146,500 square feet of new construction can be added to this district. This includes a new, free-standing lodge, and additions to the Presidio Chapel and to the Presidio Theatre, and a connecting structure to two historic garages (Buildings 47 and 48) as part of the Archeology Lab and Curation Facility. Part of this allowable new square footage includes approximately 30,000 square feet of new construction for small additions like elevators, stairways, or incidental building components required to make a building work for its new use. All new construction projects proposed for the Main Post must meet the *Guidelines for Rehabilitating Historic Buildings* that are set forth in *The Secretary of the Interior's Standards*. See Figure 2-C.



Figure 2-A

The 1997 addition to the historic Presidio Fire Station demonstrates how a new addition may be differentiated from the original structure while still being compatible in size, scale, proportion, and massing.



Figure 2-B

The Transit Center is an example of how a new building may be successfully added to the Main Post. Its simple rectangular form, its hipped roof, and its color and material palette are derived from character-defining features found on surrounding historic buildings.

STANDARDS FOR REHABILITATION

- 1 A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- 2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property should be avoided.
- 3 Each property should be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- 4 Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- 5 Distinctive materials, features and finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- 8 Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- 9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.
- 10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Figure 2-C

Standards for Rehabilitation from the Secretary of the Interior's Standards for the Treatment of Historic Properties.



Figure 2-D

Building 210, the former Post Guardhouse, was rehabilitated in 2001 using the *Secretary of the Interior's Guidelines for Rehabilitation*. The front porch had been removed in the 1950's but could be restored because there was enough documentation of its original appearance to ensure the rebuilt porch would be historically accurate.



Figure 2-E

This new addition provides an accessible entrance to the two historic buildings from both the front and back sides. It also contains the new elevator serving both buildings. Although it is more transparent than its historic neighbors, it achieves compatibility through the proportions of its framed openings, and by using wood windows with mullions.

CHARACTER-DEFINING FEATURES FOR BUILDINGS AND STRUCTURES

CHARACTER-DEFINING FEATURES FOR BUILDINGS AND STRUCTURES
<ul style="list-style-type: none">• Wall colors (Presidio White walls, red brick walls, dark brown trim, Presidio White trim, gray bases)• Roof color (red)• Building materials (board finished concrete, clapboard, masonry, stucco)• Roof shape (hipped, gabled, flat, dormers, monitors, and large vents are common)• Roof material (asphalt shingle, clay tile)• Porches (opened and enclosed with glass, 1- and 2-story)• Windows (wood double-hung is most common, single or in pairs)• Building form (narrow rectangles, width-to-height proportions, bilateral symmetry)• Shading/shadow• Texture• Simplicity of design

Figure 2-F

Character-defining features for Buildings and Structures as determined in Section 106 Design Workshop with the NPS, Presidio Trust, NPS, and California SHPO in 2008.

Because the Main Post was built over the span of two centuries, there is a great deal of variety in terms of building size and shape, architectural style, and material and color palette. Despite this visual and formal variety, the Main Post does have a distinct visual character that gives it its identity. In order to design a rehabilitation that meets the *The Secretary of Interior's Standards*,

these character-defining features must be understood and preserved. Rehabilitation projects must be compatible with them. A list of the Main Post's character-defining features for buildings and structures is included in this document (Figure 2-F).



Figure 2-G

Building 35 (1915), had balconies and broad, overhanging eaves, giving it a slight Italianate style. Its long, rectangular form is common to Main Post buildings.



Figure 2-H

Building 59, part of a group known as the “Queen Anne’s” because of their architectural style, is a delicate wood frame structure with horizontal siding and shingles.

2.A GENERAL DESIGN GUIDELINES FOR BUILDINGS AND STRUCTURES

2002 PTMP GUIDELINES FOR BUILDINGS AND STRUCTURES

- Research, protect, enhance, and interpret the significant archeological resources of El Presidio as a more visible element of the Main Post.
- Through coordinated rehabilitation of buildings and adjacent historic landscapes, retain and enhance the key historic building clusters, streetscapes, and neighborhoods that define the Main Post.
- Re-establish historic connections between buildings and their associated parade grounds and open spaces.
- Orient new buildings or structures to reinforce the historic framework and layout of the Main Post. Scale, massing, height, materials, and color of infill construction must be compatible with the character of adjacent buildings. Maximum height should be no more than 30 feet to 45 feet.

There is no single dominant style at the Main Post like there is at Fort Scott. The Main Post is comprised of buildings that are of traditional, recognizable architectural styles which are associated with specific periods of history. There are, however, common themes found in the military architecture of the Main Post, such as functionality and stylistic restraint. Simple, straight-forward massing and narrow floor plates characterize these buildings. The design of new building elements and additions should follow these general design guidelines:

2.A.1 Respect the simple, straightforward architecture that characterizes the Main Post.

2.A.2 Rely on massing and building form, rather than on applied decoration, to give buildings their distinct identity.

2.A.3 New construction should be differentiated from but be compatible with existing historic buildings.

2.A.4 Develop a proportional system similar to existing Main Post buildings for new design elements. Scale and dimensions of new building elements must respond sensitively to the scale of the building being added to, as well as the neighboring buildings.

2.A.5 Respect the massing of surrounding roof forms when developing new roofs. Roofs should be simple and direct, emphasizing the horizontality of the buildings. In general, shaped roofs are preferable to flat roofs.

2.A.6 Avoid alterations to character-defining features both inside and out, including spaces and spatial relationships between buildings and their settings.

2.A.7 Follow treatment recommendations contained in other planning documents for the Main Post, such as the *Main Post Cultural Landscape Report*, and any *Historic Structures Reports* written for specific buildings.

2.A.8 Rehabilitate the interiors to serve new uses and to meet current accessibility, building, and life-safety codes in a manner that does not destroy historic features and historic finishes.

2.A.9 Consider using California's State Historic Building Code, which provides latitude with respect to the Presidio's standard code requirements in the interest of protecting and retaining historic materials, methods of construction, and character-defining features.

2.A.10 Consider taking advantage of the federal Historic Preservation Tax Incentives program by performing a certified rehabilitation.

2.A.11 Attach new additions to existing buildings in a way that allows the wall receiving the addition to continue to "read." Create a separation between the new and old structures, minimize their points of connection, and emphasize openness as a characteristic of connecting structures.

2.A.12 New construction and/or additions to existing buildings should not be taller than adjacent historic buildings.

2.A.13 Adhere to the existing tenant sign guidelines and sign standards for the Presidio.

Building Material and Color Palette

One of the principal ways to make new construction and additions visually compatible is to employ materials and colors that are characteristic of the Main Post.

2.A.11 Develop an exterior color palette that complements the range of colors predominant in the Main Post, such as Presidio White, brick red, terra cotta (found in roofing tiles) gray-colored stone, and trim colors in brown and white.

2.A.12 Limit the use of the following exterior materials: Aluminum or metal panel wall systems, reflective metal finishes, Dry-vit or EFIS, and reflective glass. Select building materials that are compatible with the existing buildings.



2.A.13 Use materials from the following list:

Exterior Wall Materials

Cement plaster (stucco) applied in a smooth finish painted in appropriate colors.

Brick: in size and color similar to what is found on the Montgomery Street Barracks.

Wood: painted horizontal siding, trim, windows, and doors, Stained or unpainted wood should be used sparingly.

Painted cast-in-place concrete.

Stone: in limited quantities for watertables, sills and trim pieces should be similar to other Main Post stone.

Composition board (e.g. Hardieboard or Hardieplank) used in traditional applications like lap or flat siding, for soffits and trim.



Windows and Doors

Steel: steel windows, steel exterior doors, steel rails and fences; dark burnished steel and painted steel are acceptable.

Aluminum: windows, storefront, curtain wall, doors are permitted but the profile of aluminum framing members shall be minimized whenever possible. Aluminum to be powder-coated or kynar finished in appropriate colors. Reflective surfaces are not permitted.

Glass: clear glass is preferred, low-e is permitted. Tinted glass should be used in limited quantities and tint should not be readily perceivable. Spandrel glass and obscure glass is permitted in limited quantities.

Roofing and Trim

Shingles and tiles: Red asphalt tab shingles, clay tile.

Metal roofing: painted, galvanized metal is commonplace in the Main Post. Copper, zinc, terne-coated copper, termetal are permitted. Built-up roofing, membrane, and other flat roofs are permitted.

Green roofs are permitted for flat installation in areas that are not highly visible.

Painted galvanized or copper flashing/gutters
Ceramic tile as ornament or in small areas.

Figure 2-I

This new open stair was required to provide necessary exiting from Building 35's upper floors. It is clearly contemporary in design, but its color provides a compatible tie-in to the historic building. By locating it on the back corner of the building, it becomes less conspicuous within the historic setting of the Old Parade.

Figure 2-J

This canopy and concrete ramp is an addition to the historic building. Its design is contemporary to differentiate it from the historic architecture, but its scale, proportion, and color, make it compatible with its surroundings.

Environmental Sustainability

Rehabilitation of the Main Post should balance historic preservation and design concerns with environmental sustainability. Green practices should be integrated into project planning from the beginning of design, and should include creative strategies to promote energy efficiency, sustainable landscape practices, and the use of green materials and products.

2.A.14 Design new construction and significant building rehabilitation projects in conjunction with the Leadership in Energy and Environmental Design (LEED) rating system. At a minimum, each building project must be certified at the LEED Silver level.

2.A.15 Locate any proposed roof-mounted sustainable features such as photo-voltaic panels, solar hot water heating, and green roofs carefully to avoid being conspicuous and detracting from the historic Main Post setting.

2.A.16 Exploit existing building features that promote energy conservation, such as operable windows, roof vents, natural daylighting, etc.

2.A.17 Irrigate new and existing landscapes with reclaimed water to be supplied by the Presidio. Reuse building gray water if possible.

2.A.18 Disconnect the building's gutters and downspouts from the Presidio's storm water system whenever possible to discharge into the ground.



Figure 2-K

In 2008, the Presidio Trust installed photovoltaic panels on Building 211.

2.B DESIGN GUIDELINES FOR BUILDINGS AND STRUCTURES BY CLUSTER AREA

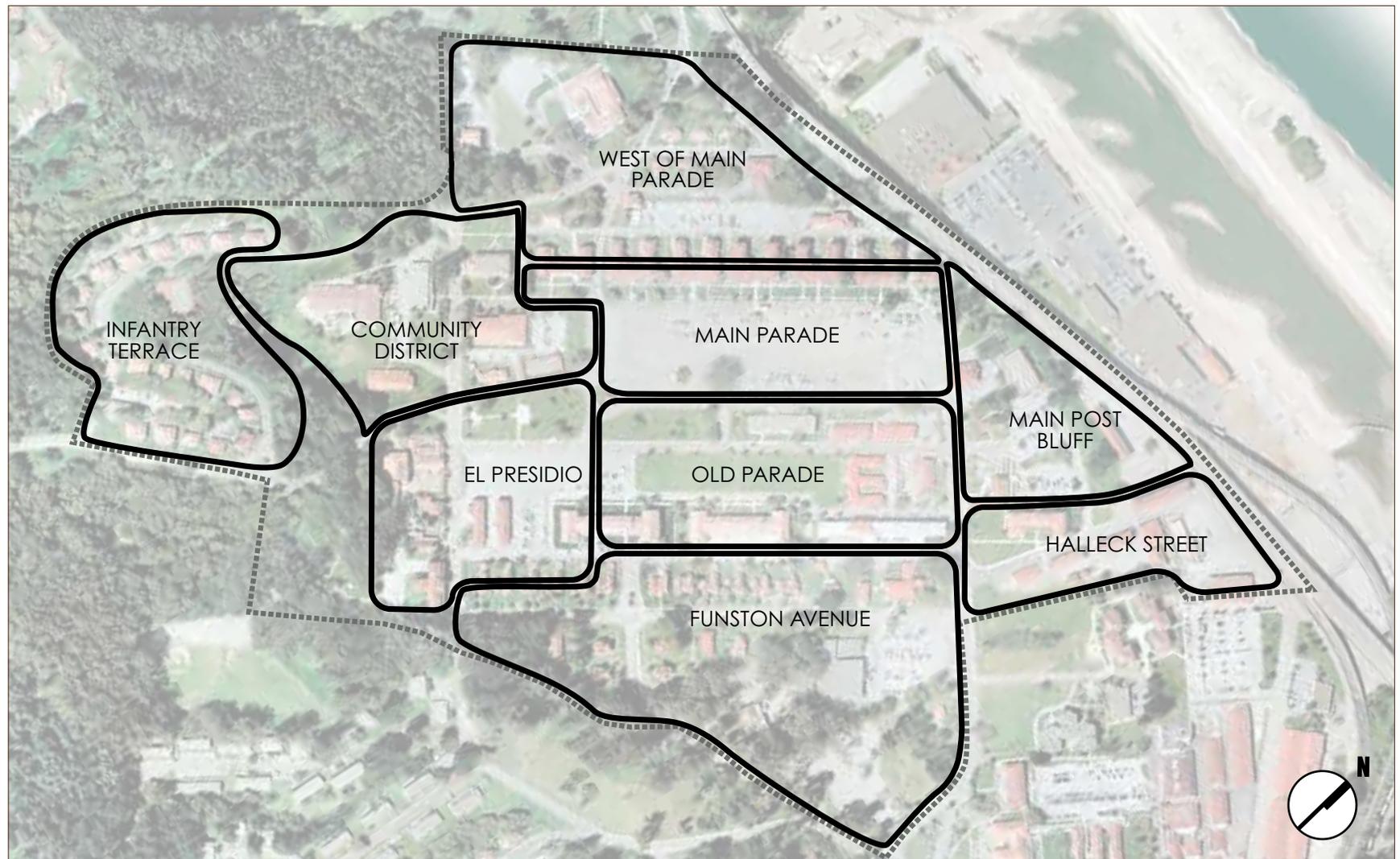


Figure 2-L

The *Cultural Landscape Report* (2011) for the Main Post identifies nine discreet cluster areas within the Main Post. The cluster areas in general contain building ensembles that are united by size, scale, color, and building type.

2.B.1 EL PRESIDIO

2.B.1.a Locate parking at the rear of the buildings to minimize parking on Moraga Avenue. Use Hardie and Mesa streets for car parking.

2.B.1.b Locate new additions and elements in the rear the buildings. Minimize changes to the buildings facing Moraga Avenue. Minimize the number of new roof-mounted items or penetrations, and congregate their placement on the rear of the buildings.

2.B.1.c Keep all porches facing Moraga Avenue unenclosed and open to the public.

2.B.1.d For the Presidio Officers' Club, Chapel and Pershing Hall, rehabilitation should follow the Secretary of the Interior's Standards and be guided by historic research and sound preservation practice.

2.B.1.e Engage in consultation to determine a treatment plan for Buildings 40 and 41, including consideration of retention/rehabilitation, relocation to another site, and removal.



Figure 2-M

Building 50, the Officers' Club, was originally part of the adobe structure that enclosed the El Presidio quadrangle. In 1934, as this photo shows, it was remodelled to give it a Mission-Revival appearance.

2.B.2 FUNSTON AVENUE

2.B.2.a Maintain the near-uniform quality of the twelve houses, Buildings 5 through 16. No significant changes should be proposed for primary (east) elevations or to side (north and south) elevations.

2.B.2.b Avoid alterations to the front or side elevations of Buildings 2 through 4, 51, 64 and 65.

2.B.2.c Locate new additions and elements in the rear of the buildings.

2.B.2.d Minimize the number of new roof-mounted items or penetrations, and concentrate their placement of the rear of the buildings.

2.B.2.e The Presidio Trust will regulate and prescribe the introduction of new front porch elements to ensure uniformity among all buildings on the street. This includes porch light fixtures, any railing alterations or infill design, and design of new accessible ramps.

2.B.3 OLD PARADE

2.B.3.a Locate new additions and elements in the rear of the buildings whenever possible to minimize changes to the buildings façade facing the Old Parade.

2.B.3.b Minimize the number of new roof-mounted items or penetrations, and congregate their placement on the rear of the buildings.

2.B.3.c New buildings proposed for Graham Street on the site of Building 34 must comply with the guidelines and project parameters presented on page 29.



Figure 2-N

The Officers' Row on Funston Avenue is another highly uniform building ensemble, where uncoordinated changes to individual buildings would adversely affect the row.

2.B.4 MAIN PARADE

2.B.4.a Maintain the uniform quality of the barracks along Montgomery Street. No significant changes should be proposed that would affect primary (east) elevations of any of the barrack buildings.

2.B.4.b New additions and elements to the Montgomery Street Barracks, if any, should be small scale and located on the sides or rear of the buildings. When designing new additions or elements located the rear of the buildings, be sensitive to their appearance from Taylor Road.

2.B.4.c Do not propose individual building changes that will significantly alter the appearance of the Montgomery Street Barracks. Additions will be evaluated based on their visual effects to the individual building and to the entire building ensemble.

2.B.4.d Locate new elements on the sides of buildings in such a way that they do not interfere with view corridors between buildings, and are not highly visible from Montgomery Street.

2.B.4.e Avoid proposals to infill courtyards of the Montgomery Street Barracks. The Trust will evaluate proposals which seek to infill rear courtyards based on the cumulative impact this will have on the entire barracks ensemble.

2.B.4.f Minimize the number of new roof-mounted items and penetrations, and concentrate their placement on the three roof sections that face the rear courtyard.

2.B.4.g Maintain the Montgomery Street side as the main entrance. Keep the accessible entrance ramps in their current locations, making modifications as needed to ensure compliance with ADA requirements.

2.B.4.h The Presidio Trust will regulate and prescribe the introduction of new front porch elements to ensure uniformity among all buildings on Montgomery Street. This includes porch furniture and light fixtures, any railing alterations or infill design, and design of new landings and ramps at the entry doors.

2.B.4.i Design structures proposed for the east edge of the Main Parade (on Anza Street), to reflect the scale, shape, and size of the historic buildings that formerly occupied that area. Use only those sites that were formerly occupied by buildings during the period of significance. Do not attempt to mirror the imposing scale of the Montgomery Street Barracks on the east edge. Keep this edge informal and low-scaled.



Figure 2-0

Montgomery Street Barracks form one of the most uniform building ensembles on the Presidio.

2.B.5 HALLECK STREET

2.B.5.a Retain the utilitarian and industrial character of the Halleck Street buildings and their historic character-defining features.

2.B.5.b Concentrate any alterations or additions on parts of the buildings that are not visible from Halleck Street.

2.B.5.c Return Building 201 to its original location after the Doyle Drive tunnel has been constructed as feasible. Maintain its existing distance from the east edge of Halleck Street.

2.B.5.d Maintain or rebuild the loading dock area on the east elevation of Building 201 to meet the new Doyle Drive road grades.

2.B.5.e Consider restoring the missing loading docks to Buildings 223 and 227 that were originally facing Halleck Street.

2.B.5.f Avoid exterior treatments that would alter the utilitarian character of this building ensemble.



Figure 2-P
Halleck Street Buildings.

2.B.6 MAIN POST BLUFF

2.B.6.a Locate new additions or elements as inconspicuously as possible, keeping in mind that buildings in this cluster are highly visible from all directions.

2.B.6.b Avoid additions of tall elements that will be visible from the Main Parade. Respect view corridors from other parts of the Main Post when planning changes to buildings in this cluster.

2.B.6.c. Locate any new additions or elements in a manner that emphasizes the openness and views of this predominantly landscaped area.

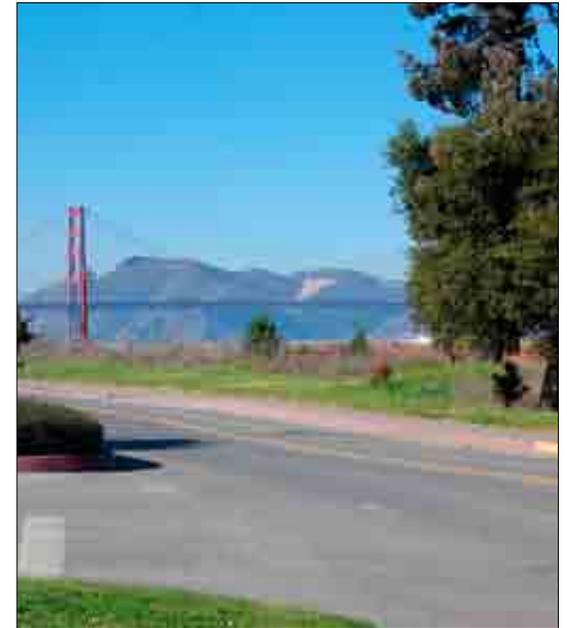


Figure 2-Q
Main Post Bluff

2.B.7 WEST OF MAIN PARADE

2.B.7.a Maintain the uniformity among identical houses on each side of the Riley Avenue.

2.B.7.b For the Presidio Chapel, follow Treatment Recommendations outlined in its *Historic Structures Report* and the guidelines and project parameters on page 33.



Figure 2-R

Each side of Riley Street contains a group of identical houses, with Building 122, a former gymnasium, being the anomaly at the end of the street.

2.B.8 COMMUNITY DISTRICT

2.B.8.a Since there is no unifying architectural style or visual similarity between the buildings in this cluster, changes to each individual historic building should be carefully planned to avoid impacts to their own character-defining features.

2.B.8.b Respect the important open spaces and street frontages of each building and locate new additions or elements away from these.

2.B.8.c Respect the color scheme of the painted stucco or painted concrete buildings in this cluster, and use color to achieve compatibility for new additions or building elements.



Figure 2-S

Building 386 in the Community District.

2.B.9 INFANTRY TERRACE

2.B.9.a Maintain the uniform appearance of similar houses types.



Figure 2-T

Row of similar houses on Infantry Terrace.

2.C DESIGN GUIDELINES FOR NEW CONSTRUCTION & BUILDING ADDITIONS

The *Main Post Update* identifies four areas within the Main Post where new construction can take place. It envisions a lodge on Graham Street, which would be new, free-standing buildings. It also allows for two additions, to the Presidio Chapel (Building 130) and to the Presidio Theatre (Building 99). It also includes a connecting structure between to historic garages (Buildings 47 and 48) to create the Archaeology Lab and Curation Facility. Conceptual site plans, as well as project parameters, for each of these projects are carried forward directly from the *Main Post Update*. Design guidelines have been developed for each project:

- 2.C.1 Archaeology Lab and Curation Facilities
- 2.C.2 Presidio Lodge
- 2.C.3 Presidio Theatre
- 2.C.4 Presidio Chapel
- 2.C.5 Other Building Additions

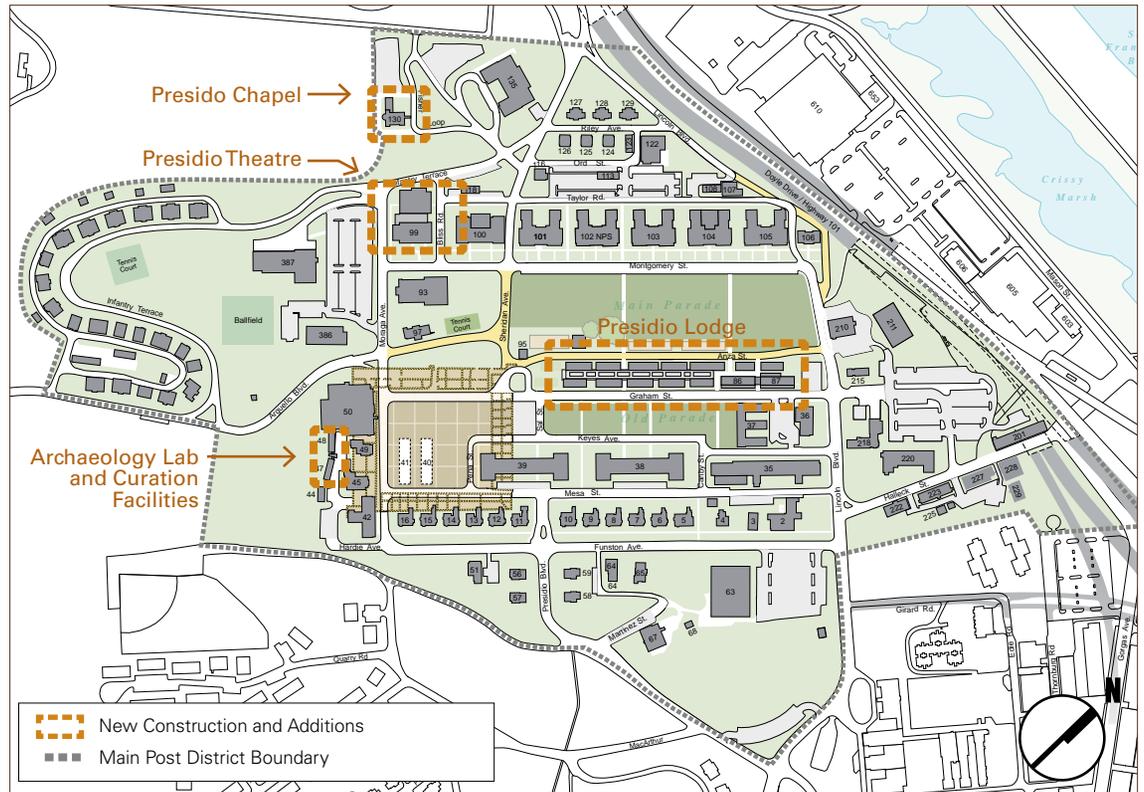


Figure 2-U
New Construction and Building Additions.

2.C.1 ARCHAEOLOGY LAB AND CURATION FACILITIES

2.C.1.a Avoid changes to the historic garage interiors that would damage historic fabric or be irreversible.

2.C.1.b Locate the new addition so it responds to the layout of both garages (Buildings 47 and 48).

2.C.1.c While traffic can be removed from portions of this road, maintain the alignment and paving.

2.C.1.d Maintain the open space east of the garages and the hardscape connection between them and Building 42.

2.C.1.e Ensure that the new addition is differentiated from the existing historic buildings but is compatible with them.

2.C.1.f Protect archaeological resources.

Although the new addition would be within the F-1 El Presidio site, the area between the historic garages was previously disturbed during their construction. Care must be taken during construction, however, to avoid unforeseen impacts on buried archaeological resources.

2.C.1.g Design the scale of the addition to relate to the adjoining garages. Limit the footprint of the new addition to 500 square feet.

2.C.1.h Use compatible building materials that respect the color and texture of the adjacent historic garages and surrounding historic buildings.

2.C.1.i Design the new addition to reflect the utilitarian character of the garages, their lack of ornament, and their functional aesthetic.

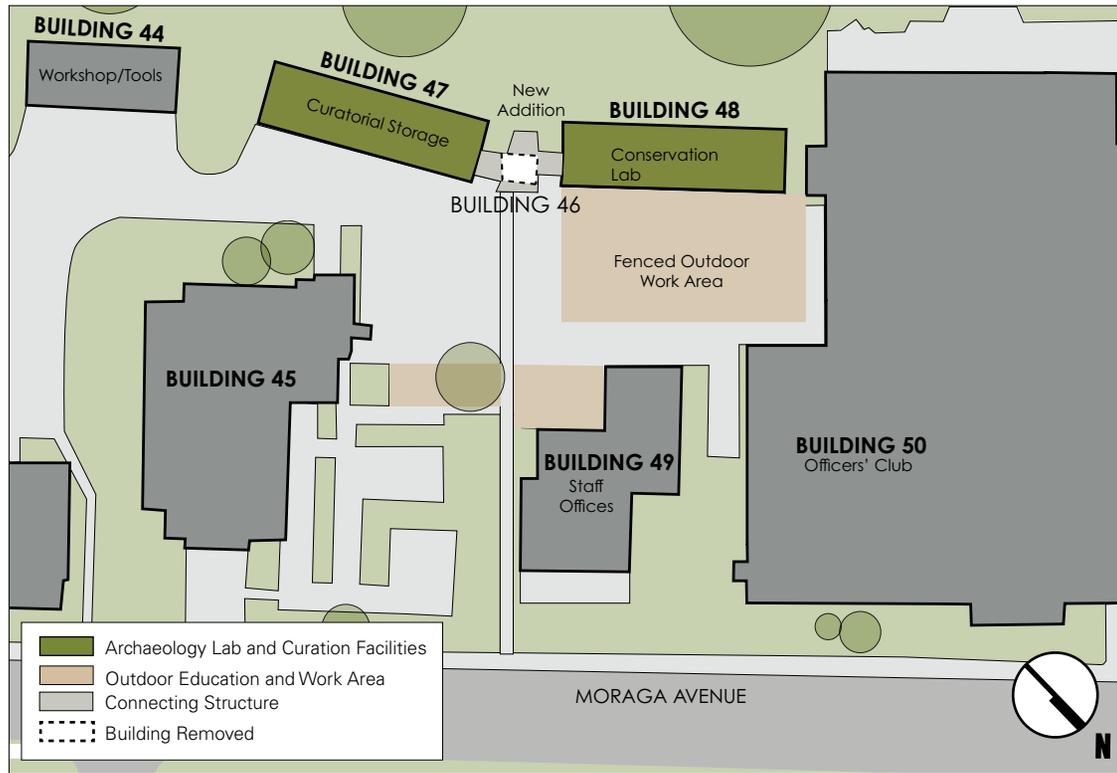
2.C.1.j Design the massing of the new addition to be subordinate to the massing of the garages, and allow the adjacent sides of the two garages to “read” despite the presence of a new addition.



Figure 2-V
1981 photo of Building 46.



Figure 2-W
Preconstruction photo of historic garages.



2010 MAIN POST UPDATE PROJECT PARAMETERS

- Rehabilitate National Historic Landmark (NHL)-contributing Buildings 47 and 48.
- Demolish NHL-contributing Building 46; provide Historic American Building Survey (HABS) recordation for Building 46.
- Limit new construction to 500 square feet to connect Buildings 47 and 48; ensure that the addition does not exceed the height of the roof ridge of Buildings 47 and 48.

Figure 2-X
Conceptual site plan for Archaeology Lab and Curation Facilities

2.C.2 PRESIDIO LODGE

2.C.2.a Maintain the historic roadway corridors of Graham and Anza streets. Traffic may be removed from Anza Street, but its width and layout must be maintained. Owen Street is not historic and can be removed.

2.C.2.b Base the layout of the new lodge on the footprint of the buildings previously standing on this site, but do not overtly copy the appearance of the previous structures.

2.C.2.c Use the new lodge to establish an “edge” between the Old Parade and the Main Parade. Design the east façade of the lodge buildings to provide visual interest to Graham Street; separate new construction into discreet building volumes to avoid creating a “wall” along Graham Street.

2.C.2.d Maintain east/west visual and pedestrian connections between the Old Parade and the Main Parade.

2.C.2.e Create seriality with the separate volumes that make up the lodge. Conform to the slope of the site and the height limit (30 feet above grade) by stepping the volumes of the lodge along the slope.

2.C.2.f Develop the internal spaces between the new lodge structures as usable circulation and green space that complements the landscape of the Main Post.

2.C.2.g Use roof types that relate to historic Main Post roofs. Consider a gabled roof with its ridge running in the north/south direction.

2.C.2.h Employ a porch-like structure on the east façades of the lodge buildings that relates to the porches on Buildings 86 and 87. Consider a similar porch or deck structure on the west façade.

2.C.2.i Use compatible window size and type and other small-scale architectural details that will relate to Buildings 86 and 87.

2.C.2.j Use compatible materials and employ the traditional red roof and Presidio White color scheme in order to relate to Buildings 86 and 87, and other nearby Main Post buildings.

2.C.2.k Avoid the F-1 El Presidio archaeology site and minimize disturbance to the F-9 archaeology site by locating the majority of new construction in the area previously disturbed by Building 34.



Figure 2-Y
Historic photo of Graham Street barrack buildings.

2.C.2.l For additions to the west side of historic Buildings 86 and 87, provide adequate separation between the new addition and the historic building(s) to allow the west walls to “read.” Limit the height of new additions to 15 feet above existing grade. Create a building massing that is compatible with the historic buildings and clearly subordinate to them. Limit removal of historic fabric at points of connection. Follow treatment recommendations in HSRs developed for the buildings.



Figure 2-Z
Photo of Buildings 34, 86 and 87 on Graham Street.



Figure 2-AA
Conceptual view of the lodge adjacent to Buildings 86 and 87. The lodge consists of a number of separate buildings similar to the historic layout of the Graham Street barrack buildings on this site.

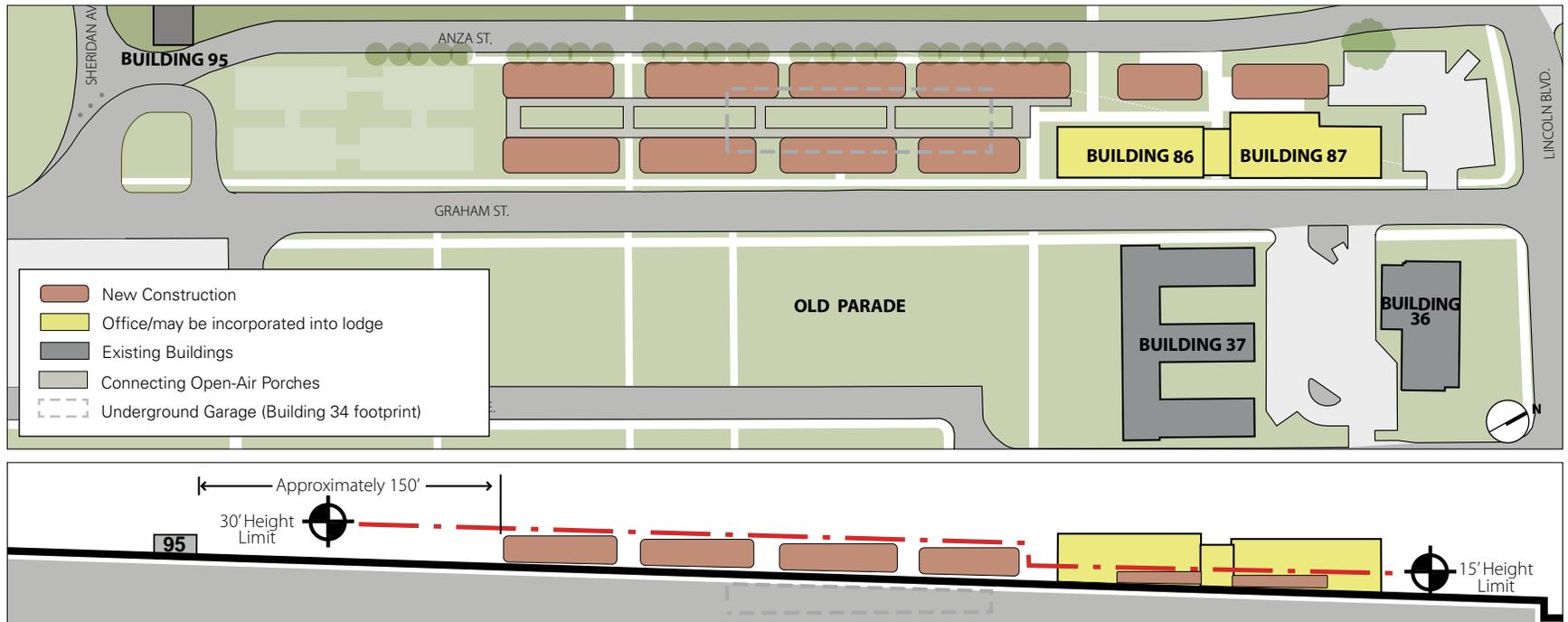


Figure 2-BB
 Conceptual site plan and building elevation for the lodge.

2010 MAIN POST UPDATE PROJECT PARAMETERS

- Demolish non-NHL-contributing Building 34; limit new construction to 70,000 square feet.
- Apply design guidelines and historic structures report (HSR) treatment recommendations; follow the PA-MPU design review process for new construction.
- Design the lodge to respond to the Main Parade design.
- Limit height of new construction to 30 feet above existing grade.
- Base the building footprint on the pattern of the historic barracks that once occupied the site between Graham and Anza streets.
- Set back the southern edge of new construction at least 150 feet from Building 95 to avoid El Presidio archaeology.
- Complete identification of buried archaeological features prior to final design to inform efforts to avoid or minimize adverse effects.
- Use the basement of Building 34 to accommodate up to 50 parking spaces, should underground parking be needed for the lodge.
- Incorporate Buildings 86 and 87 into the lodge, if feasible.

2.C.3 PRESIDIO THEATRE

2.C.3.a Maintain the historic roadway corridors that surround the theater site. Traffic may be removed from portions of Bliss Road, but its width and layout must be maintained.

2.C.3.b Retain the historic Moraga Avenue entrance to the theater and locate the primary entrance to the addition on Moraga Avenue.

2.C.3.c Align the primary north and south elevations of the new addition with the historic theater's north and south elevations. Maintain a setback from Infantry Terrace of a minimum of 15 feet.

2.C.3.d Develop a lightweight and transparent connecting structure that visually separates the addition from the historic theater. Minimize the height of the connector and strive for a feeling of openness and visual transparency in its design. Ensure that the connector is a secondary structure to both the new addition and the historic theater.

2.C.3.e Create a new addition of a scale and proportion that is related the adjacent theater and other Main Post buildings.

2.C.3.f Design the massing of the addition to be visually subordinate to the historic theater.

2.C.3.g Employ compatible architectural features for the addition, such as porch-like elements and other architectural details that reflect the historic theater.

2.C.3.h Respect the simplicity of the theater's board-formed concrete walls and lack of ornamentation. For exterior finishes on the new addition, use compatible materials, color, and texture that relate to the historic theater.

2.C.3.i Use a roof type that is compatible with the Presidio Theatre.

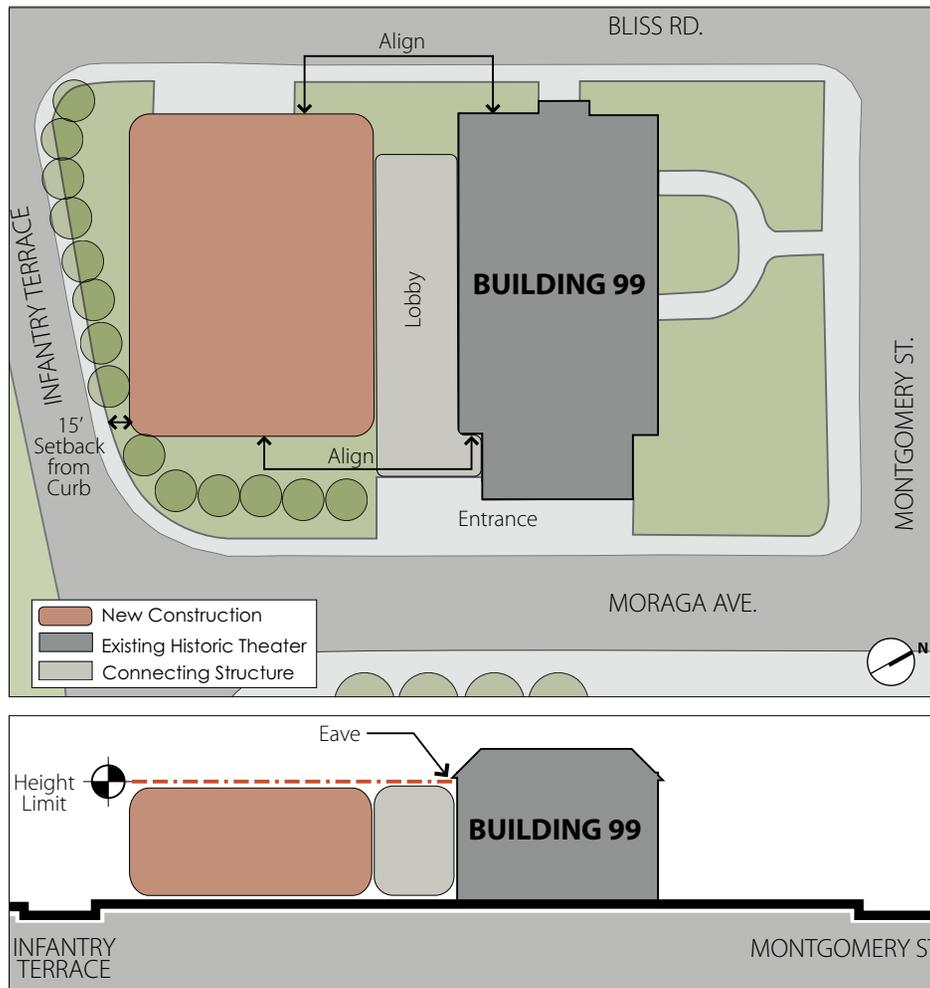
2.C.3.j Follow treatment recommendations in the HSR developed for the building.



Figure CC
Presidio Theatre, c1939.



Figure DD
Photo of existing Presidio Theatre from Infantry Terrace. Addition would be located on the lawn seen at the left of the theater.



- 2010 MAIN POST UPDATE PROJECT PARAMETERS**
- Prepare an HSR for Building 99.
 - Retain Building 99's single auditorium and historic orientation to Moraga Avenue.
 - Limit new construction to 18,000 square feet; limit building height to the eave of the existing theater.
 - Differentiate new construction from the historic building; pull new construction away from the historic building with a transparent connector.
 - Apply design guidelines and HSR treatment recommendations; follow the PA-MPU design review process for new construction.

Figure 2-EE
 Conceptual site plan and elevation for the Presidio Theatre.

2.C.4 PRESIDIO CHAPEL

2.C.4.a Maintain the alignment of the historic Fisher Loop. Traffic may be removed from some or all of these road surfaces, but their curb alignment should be retained in the landscape.

2.C.4.b Maintain the open spaces to the north and east of the chapel as landscaped areas.

2.C.4.c Design the addition so that its scale and massing relates to the existing chapel. Ensure that the new addition is differentiated from the existing historic building but compatible with it.

2.C.4.d Develop a lightweight and transparent connecting structure that visually separates the addition from the historic chapel. Do not allow the height of the connecting structure to extend beyond the chapel's west window sills. Allow the chapel's west wall to read; strive for an overall feeling of openness in its design.

2.C.4.e Use a gable or a flat roof. If a pitched roof is selected, make sure the slope is compatible with the roof of the historic chapel.



Figure 2-FF
Presidio Chapel, c1945.

2.C.4.f Design the new addition to include punched openings, roof overhangs, and other architectural features that relate to the historic chapel.

2.C.4.g Limit the architectural detailing of the addition so it does not compete with the existing main chapel facade. Allow the existing decorative terra-cotta detailing to continue to be the building's dominant visual characteristic.

2.C.4.h Avoid removal of historic features or

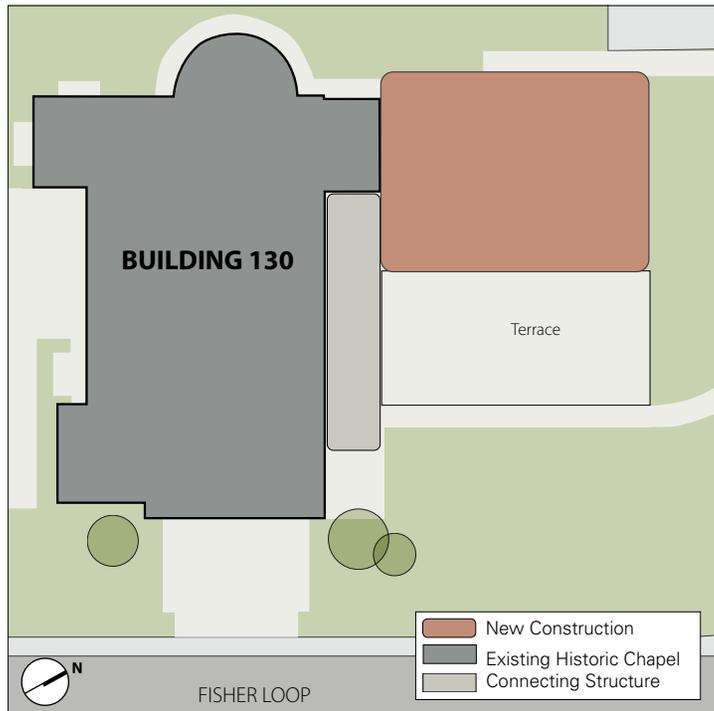
structures. Avoid changes to the historic interior that would damage historic fabric or historic interior volumes. Consider removal of non-historic features such as the entry canopy and accessible ramp.

2.C.4.i Use compatible building materials that respect the color and texture of the adjacent historic theater and surrounding historic buildings.

2.C.4.j Follow treatment recommendations in HSR developed for the building.



Figure 2-GG
Photo of Presidio Chapel. Addition would be located on the west side of the chapel, but would not block the existing windows.



- 2010 MAIN POST UPDATE PROJECT PARAMETERS**
- Prepare an HSR for Building 130.
 - Rehabilitate NHL-contributing Building 130.
 - Limit new construction to 4,000 square feet on the west of Building 130; limit the height of the connecting structure to the sills of the west elevation windows and the height of new construction to 20 feet above finished floor level.
 - Orient the addition to be perpendicular to the west wall of the sanctuary, allowing a large portion of the west wall to be visible.
 - Apply design guidelines and HSR treatment recommendations; follow the PA-MPU design review process for new construction.

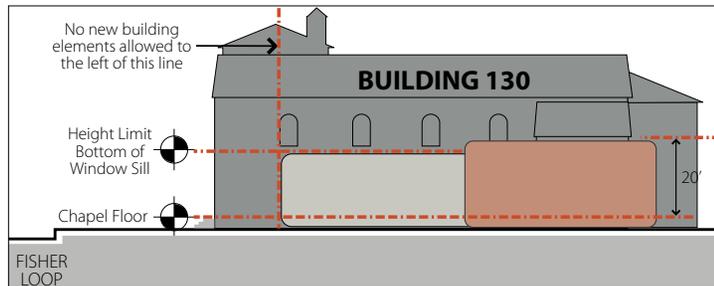
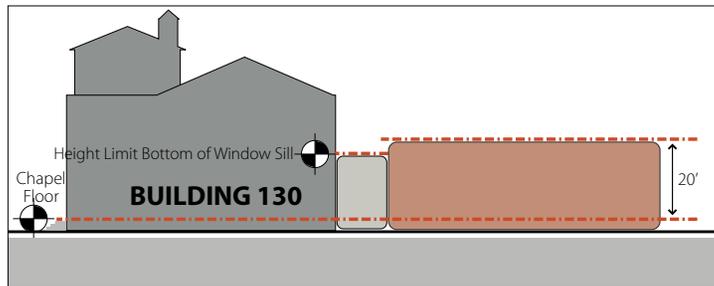


Figure 2-HH
Conceptual site plan for the Presidio Chapel.



3. Open Space, Vegetation, and Views

3. OPEN SPACE, VEGETATION, AND VIEWS

The Main Post makes up a large and historically significant part of the Presidio's National Historic Landmark District. Its historic buildings are tied together by shared open space, vegetation, and a network of sidewalks, roads, and other features, which taken together create a historic landscape. Many of these landscape features are themselves listed as “contributing” elements to the Landmark. The Main Post's landscape features are subject to *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes* (NPS 1996). Rehabilitation is the appropriate treatment for historic landscapes at the Main Post, using the same *Standards for Rehabilitation* that apply to historic buildings, as shown in Figure 2-C on page 16.

As defined by *The Secretary of the Interior's Standards*, rehabilitation of the landscape allows for contemporary new uses within a historic district, provided character-defining features are maintained. Figure 3-D contains a list of character-defining features of the Main Post's landscape. Recognizing and protecting these character-defining features will ensure that new projects meet *The Secretary of the Interior's Standards*.



Figure 3-A
Low stone retaining wall at Building 2 with cannon ball ornamentation.



Figure 3-B
Showy flowering plants are part of the historic residential neighborhood of Infantry Terrace.



Figure 3-C
Row of date palms on Graham Street.

CHARACTER-DEFINING FEATURES FOR OPEN SPACE, VEGETATION AND VIEWS

The landscape of the Main Post was manipulated over its long history in large part to serve the functional needs of its inhabitants. But it also an expression of aesthetic concerns—a desire to beautify and make more comfortable a spot of land that was originally a windswept and mostly treeless physical setting. Its roads, pathways, and buildings were laid out according to military

operational needs, but they also reflect a desire for order, symmetry and tradition. The planting of the forest, the lawns and parade grounds, and the gardens addressed both functional and aesthetic needs. The Main Post today is recognized as a cultural landscape, which is defined in *The Secretary of the Interior's Standards* as a geographic area (including both cultural and

natural resources and their wildlife or domestic animals), associated with a historic event, activity, or person or exhibiting other cultural or aesthetic values. There are four general types of cultural landscapes, which are not mutually exclusive: historic sites, historic designed landscapes, historic vernacular landscapes, and ethnographic landscapes. The Main Post is both a historic designed landscape and a historic vernacular landscape. This dual definition is due to its simultaneous development for both functional and aesthetic reasons. The Main Post exhibits certain character-defining features, defined as prominent or distinctive aspects, qualities, or characteristics that contribute significantly to its physical character. Land use patterns, vegetation, furnishings, decorative details and materials are example of such features. In undertaking rehabilitation projects at the Main Post, its character-defining features must be understood and project proponents must endeavor to retain and protect them. These features are listed in Figure 3-D. A more detailed study and treatment recommendations for the Main Post cultural landscape is provided in the *Main Post Cultural Landscape Report*.

CHARACTER-DEFINING FEATURES FOR OPEN SPACE, VEGETATION, AND VIEWS
<ul style="list-style-type: none">• Open spaces, formerly parade grounds, with buildings defining their edges.• A plant palette limited in its variety and use, a simple mixture of broad-leaf evergreens, conifers, and a very limited number of deciduous and succulent plants.• Rarity of showy flowering plants with conspicuous floral display. Floral display was usually limited to foundation plantings in historic residential areas.• Plant species were usually imported from the Mediterranean climate zones: the Mediterranean, South Africa, and Australia/New Zealand.• Canary Island Date Palms used sparingly as accent planting around buildings, and, when marking the road corridors of Lincoln Boulevard and Graham Street, were only placed on one side of a road.• Hedges and tree rows, usually conforming to street and sidewalk alignments.• Street trees used rarely, tend to be small in size.• A limited paving palette using concrete and asphalt.• Site features such as stairs, retaining walls, and curbing are simple, straightforward designs constructed of durable and functional materials.• Stone walls are used sparingly, in sloping areas to retain soil.• Water-collecting concrete runnels at building foundations or along roads, constructed of stone and brick.• Views to points beyond, and views within, the Main Post

Figure 3-D

Character-defining features of the Main Post's landscape.



Figure 3-E
Main Post aerial view towards the bay, 2006.

Historic Views

The availability of views from the Main Post north and west to the bay provide one of the key reasons it was selected by the Spanish for their El Presidio. These views allowed strategic surveillance of ships entering the bay and explain why the Mexican and later the American military command decided to keep this location for their respective garrisons. As the Main Post expanded through its many building campaigns, its northern edges were kept open and visually permeable. Views of the bay and the hills beyond have provided geographic orientation and a strong visual identity to the Main Post.

Internal views also played a role in the shaping of the post through the nineteenth and twentieth century. Internal views enhanced the relationship between buildings and open space and helped organize the placement of buildings. For example, Infantry Terrace was situated on higher ground than the Main Parade, giving officer's visual command over the enlisted men's barracks and parade ground, and allowed enlisted men to see the stately officer's quarters in return. Those views that existed historically and acted as form-givers to the Main Post can be defined here as character-defining features. Figure 3-G indicates those character-defining views.

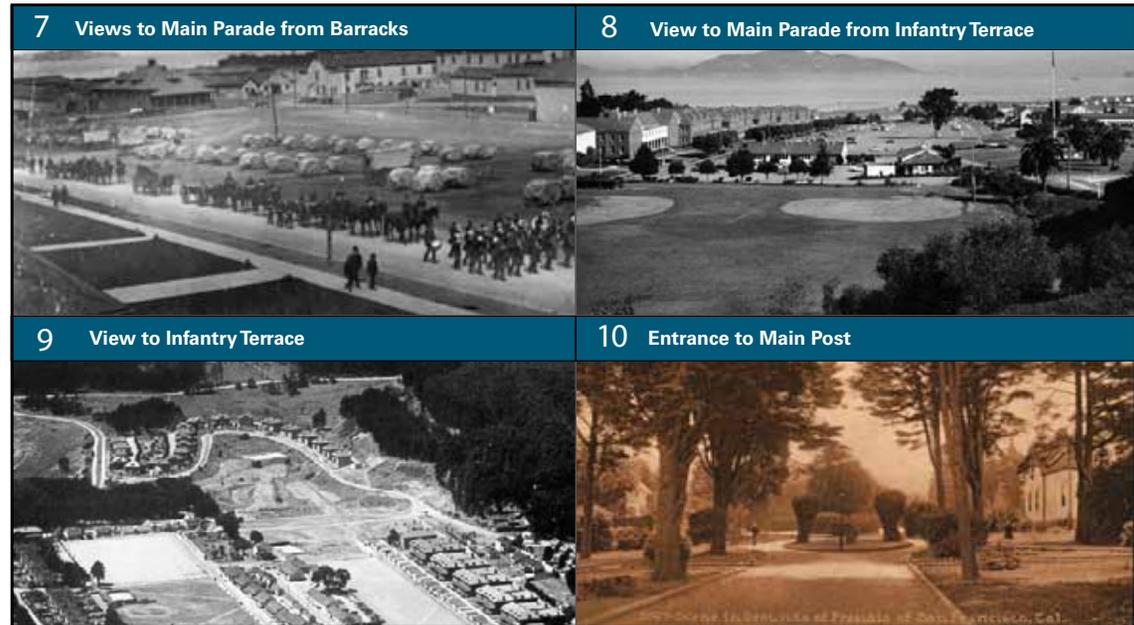


Figure 3-F
Examples of Main Post views in relation to Figure 3-G.

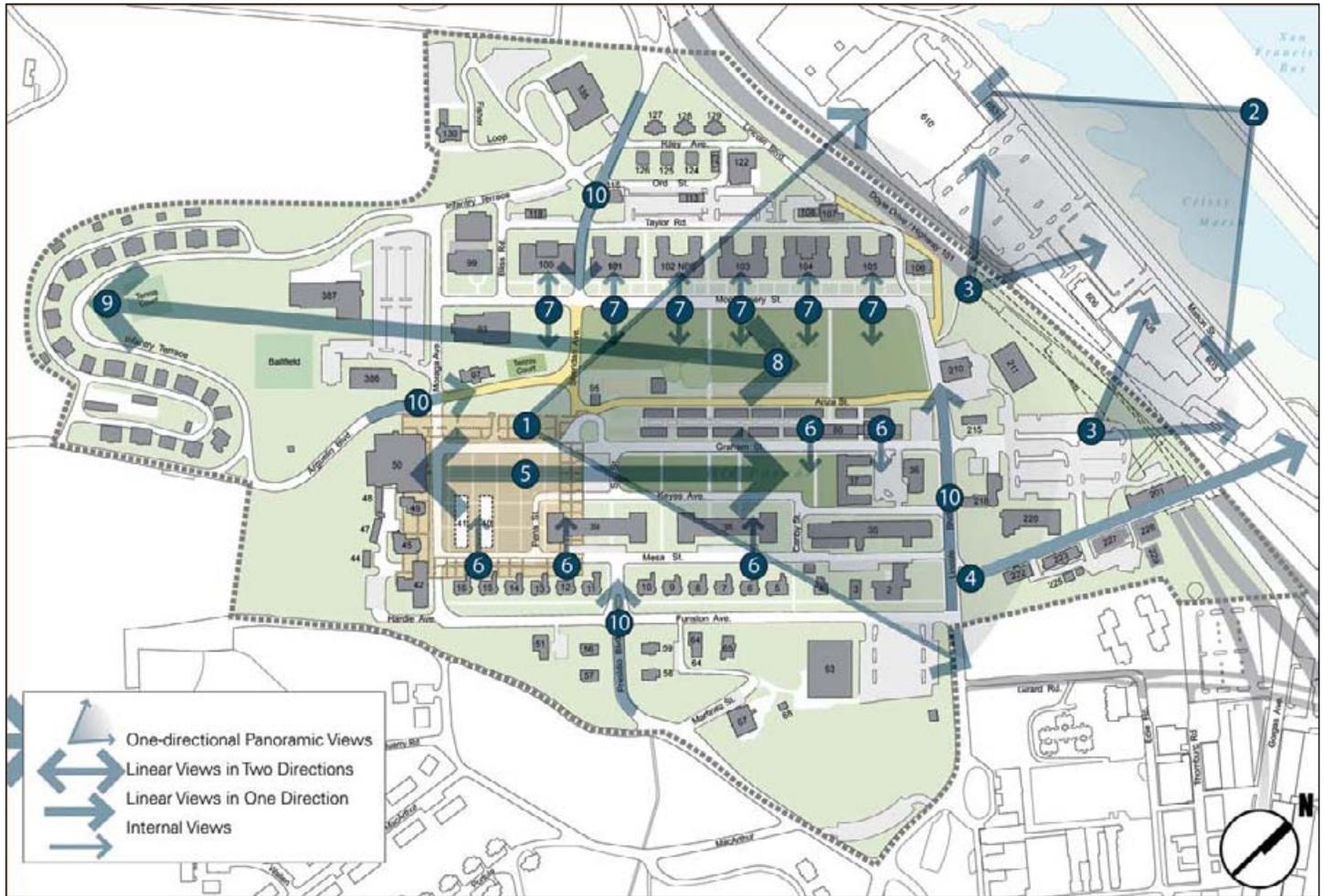


Figure 3-G
Historically significant Main Post views.

- | | | |
|--|---|----------------------------|
| 1 Panorama to Bay from El Presidio | 5 Views to and from Officers' Club | 9 View to Infantry Terrace |
| 2 View from Bay to Presidio | 6 East/west views to Old Parade and El Presidio | 10 Entrance to Main Post |
| 3 Panoramic Bluff Views | 7 Views to Main Parade/views back to Barracks | |
| 4 View to historic Wharf at Halleck Street | 8 View to Main Parade from Infantry Terrace | |

3.A GENERAL DESIGN GUIDELINES FOR OPEN SPACE, VEGETATION, AND VIEWS

2002 PTMP GUIDELINES FOR OPEN SPACE, VEGETATION, AND VIEWS

- Retain and enhance historically significant open spaces such as the El Presidio plaza, the Civil War-era Old Parade Ground, the Main Parade ground, and Pershing Square; designed landscape features such as the historic Alameda entrance; streetscapes such as Infantry Terrace, Halleck Street, Funston Avenue, and Montgomery Street; and the Presidio Chapel landscape.
- Restore the Main Parade ground and reinforce the edges of historic open spaces through new design features.
- Commemorate and/or delineate the location of significant historic elements of the Main Post such as the El Presidio walls and building footprints and the Alameda entrance.
- Improve pedestrian and visual connections between the Main Post and Crissy Field (Area B). Reinforce the historic connection along Halleck Street. Incorporate an open space connection to Crissy Field (Area B) as part of the planning for reconstruction of Doyle Drive.
- Maintain small structures and symbolic objects, such as the Centennial Tree located on the Main Parade ground, the cannons, and the flagpole, that evoke a sense of the Main Post's history.
- Re-establish historic views and visual connections, such as those between Infantry Terrace and the Main Parade ground. Retain and enhance views from the Main Post to the bay.

The design guidelines which follow provide general landscape guidance for the entire Main Post.

3.A.1 Design new landscape features that fit within the existing spatial organization and land patterns of the Main Post. Relate to the existing three-dimensional organization of the landscape.

3.A.2 Consider the arrangement and interrelationship of the character-defining features within a landscape area prior to developing a landscape treatment. These features include topography, vegetation, circulation, water features, structures, site furnishings and objects.

3.A.3 Acknowledge the simple, straightforward design of Main Post's historic landscapes and develop a contemporary design approach that respects this tradition. Design new landscapes to be compatible with the existing historic landscapes.

3.A.4 Identify existing heritage plants and protect them.

3.A.5 Follow the Presidio's approved plant list when making plant selections.

3.A.6 Select plant material that is compatible with the existing plant palette within each landscape cluster area. Not every plant is appropriate in every area of the Main Post.

3.A.7 Design landscapes that can be easily maintained and incorporate best green practices.

3.A.8 Manage vehicular movement, such as passenger drop-off, deliveries and loading, in such a way to minimize traffic disruption on Main Post streets and maintain width and alignment of historic streets.

3.A.9 Manage the location of streetlights, signage, parking meters and other structures to avoid visual clutter on historic streetscapes.

3.A.10 Comply with applicable fire codes to provide emergency vehicle access.

3.A.11 Incorporate the placement of site utility equipment such as transformers, backflow preventers, and irrigation controllers into site planning from the beginning of a project. They should be located out of view as much as possible, away from open spaces, road corridors or important landscape features.

3.A.12 Secure bike storage and lockers should be provided for employees to promote bicycle use. Exterior bike racks should be provided for building visitors.

3.A.13 Locate trash storage and collection areas away from public open spaces, road corridors or important landscape features as much as possible. Their size and location should be reviewed with the Presidio waste and salvage coordinator.

3.A.14 Use paving materials that are compatible with the Main Posts limited palette of paving types (i.e. asphalt and concrete.) Use concrete or stone pavers in limited amounts only.

3.A.15 Comply with Presidio requirements for concrete color for paving, curbs and sidewalks.

3.A.16 Select street lighting and street furnishings only from the Presidio Landscape Standards. Avoid light pollution and light trespass in designing exterior lighting.

3.A.17 Follow the Presidio Tenant Sign policy when specifying exterior signage.

3.A.18 Manage stormwater runoff within the building site whenever that is possible. Best management practices should be used to reduce runoff from impervious surfaces.

3.A.19 Protect views to points beyond, and views within, the Main Post.



Figure 3-H
Bicycle lockers are provided near the Transit Center.



Figure 3-I
Site equipment and utilities are consolidated in the backyards of Funston Avenue houses.



Figure 3-J
Foundation planting, narrow sidewalks and flat lawn areas define the character of the front yards of the Funston Avenue houses.



Figure 3-K
Permeable paving and bioswales in parking lots allows filtration and minimize stormwater runoff.



Figure 3-L
Easily maintained designed landscapes plumbed to use reclaimed water.

3.B DESIGN GUIDELINES FOR OPEN SPACE, VEGETATION, AND VIEWS BY CLUSTER AREAS

3.B.1 EL PRESIDIO

3.B.1.a Create a landscape design that expresses the size and alignment of El Presidio and interprets it to the public, while at the same time balances contemporary needs for circulation, parking and access to buildings

3.B.1.b Continue archaeological investigations in this area to discover the locations of buried resources.

3.B.1.c Develop a strategy that allows for temporary road closures and relocation of cars.

3.B.1.d Make the on-going archaeological work available for park visitors as an interpretive exhibit.

3.B.1.e Reveal the location of the archaeological remnants of the El Presidio perimeter walls by marking them on the surface of the existing grade.

3.B.1.f Differentiate the boundaries of El Presidio from the Old Parade through the selection of surface treatments.

3.B.1.g Remove irrigation systems and plants with damaging roots above sub-surface archeological remains. Install a new landscape treatment in these areas that will have a minimal impact on the archeological resources.

3.B.1.h Improve site drainage so rain water does not pool around sensitive earthen structures and is directed away from the site.

3.B.1.i Consider removing or relocating Buildings 40 and 41 in order to reestablish the historic open space of the quadrangle. Preservation of the buildings should also be considered as a treatment option.

3.B.1.j Maintain the “reading” of the south curb and sidewalk of Moraga Avenue even if changes to the roadway or sidewalk are required by new uses, such as accessibility or vehicle drop-off zones.

3.B.1.k Apply a consistent treatment to the front yards of Buildings 42, 45, 49, and 50 and the rear yards of Funston Buildings 11-16 to reinforce El Presidio’s boundary. Landscapes in the backyard should relate to the functional character of Hardie Avenue and the front of Funston to the American period.

3.B.1.l Maintain Pershing Square as an open space but modify its eastern edge using the landscape treatment developed for El Presidio.

3.B.1.m Commemorate the Pershing House at Pershing Square through interpretation and possible landscape treatment.



Figure 3-M

This archaeological pilot project for El Presidio Chapel demonstrates how the original foundations are expressed on the surface of the ground with new stones.



Figure 3-N

Conceptual rendering of future El Presidio plaza.



2010 MAIN POST UPDATE PROJECT PARAMETERS

- Continue excavations of El Presidio; implement an incremental landscape approach that reflects the structure of the buried site.
- Reduce parking on El Presidio; intermittently close roads to accommodate excavations and public programs.
- Undertake additional Section 106 consultation to determine appropriate avoidance, minimization, or mitigation measures for the treatment of Buildings 40 and 41.

The following elements will be used to define the boundaries of El Presidio and its central plaza:

- A** The Officers' Club, Building 49, the Main Post Chapel and Pershing Hall
- B** The backyards of the Funston Avenue Officers' Row (Buildings 11 through 16)
- C** The eastern edge of Pershing Square
- D** Portions of the parking lot and lawn perpendicular to Building 39
- E** Plaza de armas represented by change in paving material
- F** Removable Bollards on Graham Street and Moraga Avenue to allow temporary closure

Figure 3-O
El Preidio site plan.

3.B.2 FUNSTON AVENUE

3.B.2.a Continue the rehabilitated “streetscape” for Lower Funston (Buildings 4-10).

3.B.2.b Use plantings, street furniture and other landscape elements to evoke Funston Avenue’s residential/military setting from its period of significance with special emphasis on the former Officers’ Row houses.

3.B.2.c Restore the Alameda, including its elliptical shape and plant placement. Consider closing this section of Presidio Boulevard to traffic, making it a pedestrian feature, including seating areas and interpretive waysides.



Figure 3-P
Existing Old Parade and surrounding buildings.

3.B.2.d Treat the Mesa Street landscape differently from the Funston streetscape design, recognizing that as a service street, it historically lacked the formality and ornamental plantings of Funston.

3.B.2.e Keep irrigation systems and plants with damaging roots away from the backyards of Buildings 11 through 16. The proposed landscape treatment for these backyards should follow the guidelines for El Presidio’s cluster area.

3.B.2.f Reestablish the missing Monterey Cypress trees from the row which once lined the east side of Funston Avenue.

3.B.3 OLD PARADE

3.B.3.a Re-establish the separation between the Main Parade and the Old Parade by adding new structures or landscape elements in the zone between Graham and Anza Streets. Reestablish the consistent street wall at Graham Street in line with Buildings 86 and 87.

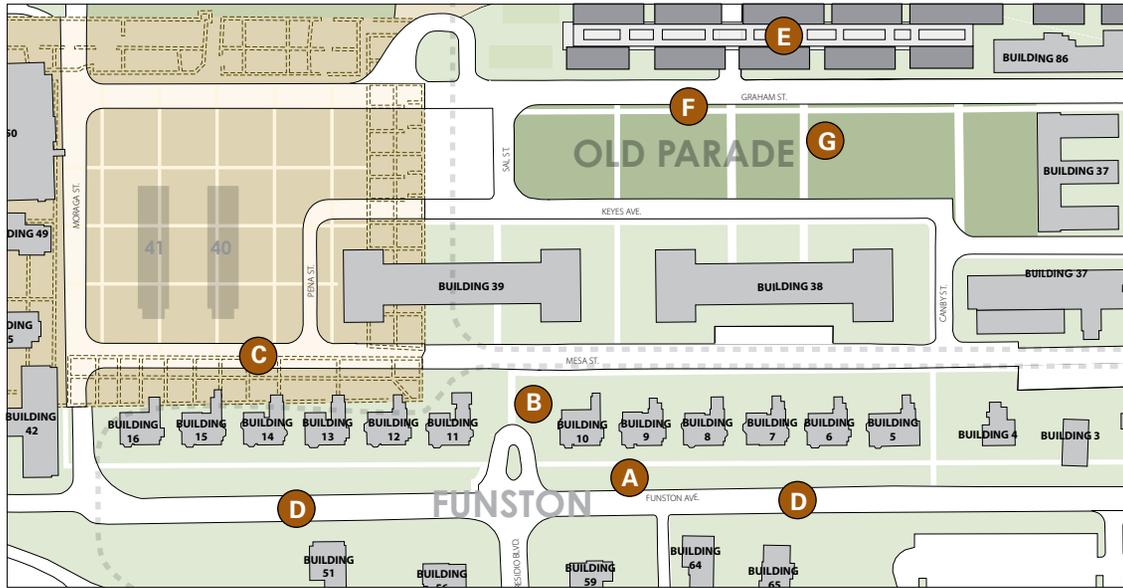
3.B.3.b Maintain the existing lawn as a public open space.

3.B.3.c Protect and care for the palms which line Graham Street. Replace missing date palms.

3.B.3.d Remove non-historic fan palms and replace with date palms.



Figure 3-Q
Conceptual rendering of how new construction could establish a consistent street wall at Graham Street.



The following elements help define the landscape in the Old Parade and Funston areas:

- A** Historic Funston streetscape
- B** Restored Alameda
- C** Backyards of Buildings 11-16 reflect the El Presidio landscape treatment
- D** Historic row of Monterey Cypress
- E** Built edge that separated the Old Parade from the Main Parade
- F** Row of historic date palms
- G** Lawn as a public open space

Figures 3-R
Old Parade and Funston Avenue site plan.



Figure 3-S
Historic view of Funston from the 1920s shows a lush residential landscape.



Figure 3-T
Rehabilitated landscape along upper Funston.

3.B.4 MAIN PARADE

3.B.4.a Relocate the existing parking spaces to other parking lots and remove the asphalt parking facility. Replace it with lawn, maintaining the existing slope toward the north. Create a curb along Montgomery Street and Lincoln Boulevard to border the new lawn. Retain concrete swale along eastern edge of Montgomery Street.

3.B.4.b Define east-west pedestrian circulation routes across the Main Parade that connect to existing or new sidewalks at the lawn's perimeter.

3.B.4.c Reestablish the historic width of the Main Parade. Using structures, plantings or other landscape elements, define the historic eastern edge of the Main Parade in its approximate original location. Treat this new edge as an irregular, informal arrangement of forms and features, to contrast with the strong, uniform edge created by the Montgomery Street Barracks.



Figure 3-U
Existing asphalt parking lot.

3.B.4.d Use landscape elements to interpret former building footprints along the eastern edge of the Main Parade ground.

3.B.4.e Retain the Centennial and Bicentennial Trees and integrate them into this new landscape design.

3.B.4.f Reinforce the strong built edge created by the Montgomery Street Barracks with a uniform, formal landscape treatment.

3.B.4.g Manage the location of street lights, parking meters, signs, interpretive waysides and other structures to avoid visual clutter along Montgomery Street.

3.B.4.h Remove automobile traffic from Anza Street to create a major pedestrian circulation spine through the Main Parade and provide connections to other pedestrian paths to the north and south of it. Maintain the historic width and layout of Anza Street.

3.B.4.i Maintain the terraced building pads of the Montgomery Street Barracks that step down toward the north end of the Parade.

3.B.4.j Integrate Main Parade design with the proposed Presidio Lodge and Anza Esplanade.

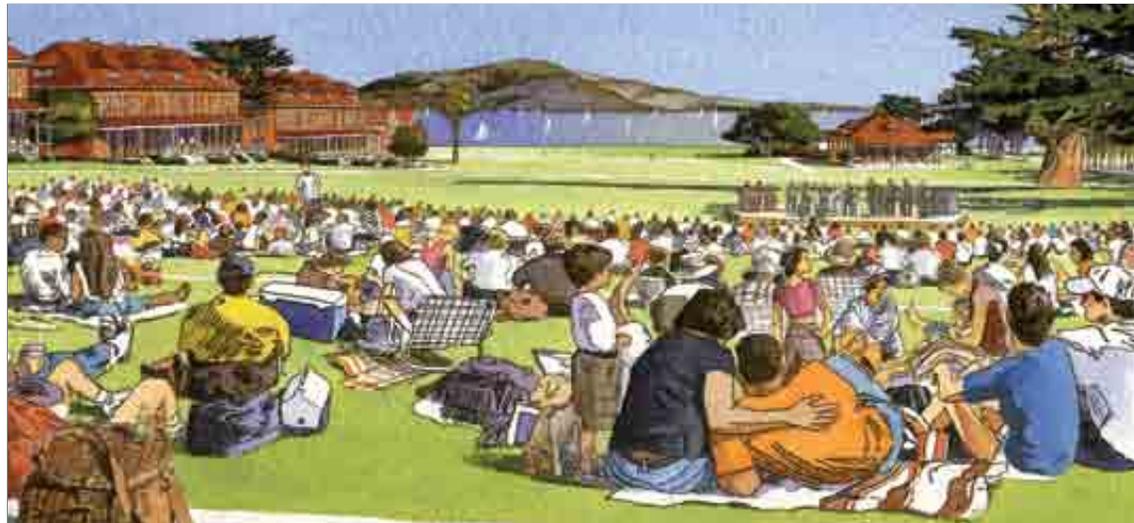


Figure 3-V
Conceptual rendering of Main Parade.

3.B.5 HALLECK STREET

3.B.5.a Straighten Halleck Street at its north end to restore its historic alignment. Retain it as the principal auto connection between the Main Post and Crissy Field.

3.B.5.b Maintain the utilitarian character of the historic streetscape. Avoid planting street trees, and minimize foundation planting or any decorative landscape features in this cluster.

3.B.5.c Design landscape treatments that mark the former loading dock zone that existed on both sides of Halleck Street.



Figure 3-X
Utilitarian character of Halleck Street.

3.B.6 MAIN POST BLUFF

3.B.6.a Locate the Presidio Promenade close to the edge of the new bluff to take advantage of the views of Crissy Field and the bay. Include features such as benches, bike racks, and interpretive signage.

3.B.6.b Develop overlooks at selected locations that offer the best views.

3.B.6.c Design level areas for informal play and gathering.

3.B.6.d Establish new north-south pedestrian circulation features to re-establish the historic connection between the Main Post and Crissy Field.

3.B.6.e Design landscaped parking areas on the Main Post Bluff that use vegetation to screen and minimize the view of parked cars from the Main Parade. Ensure that parked cars located on the Main Post Bluff cannot be seen from Crissy Field.

3.B.6.f If an underground parking structure is provided in this area, suppress it so it does not interrupt the finish grades in the area or create a visible “hump.” Locate entrances and exits into the parking structure to be inconspicuous from the pedestrian corridors and open spaces.

3.B.6.g Evoke the form of the historic bluff between the Main Post and Crissy Field, and maximize physical and visual connectivity between the two areas.



Figure 3-Y
Rendering of the future Main Post Bluff.

3.B.7 WEST OF MAIN PARADE

- 3.B.7.a Maintain the functional, “back of house” character of the Taylor Street landscape zone and use as a parking area. Maximize the number of parking spaces provided in this area.
- 3.B.7.b Maintain the small-scale, informal quality of the Riley Avenue residential landscape.
- 3.B.7.c Maintain the historic concrete walkways in width and alignment around the Riley Avenue residences.
- 3.B.7.d Interpret missing western edge of Taylor Road with hardscape treatment.
- 3.B.7.e Restore foundation plantings around the Riley Avenue residences.
- 3.B.7.f Understand the boundaries of the historic forest originally planted in this cluster area and replant missing sections of it where appropriate.
- 3.B.7.g Respect the layout of the original landscape and driveway patterns around the Presidio Chapel and design new landscapes that retain these elements.



Figure 3-AA
The Riley Avenue landscape has a small scale residential character.

3.B.8 COMMUNITY DISTRICT

- 3.B.8.a Maintain the “unplanned” character of this area by avoiding overly-formal landscape treatments that compete with the adjacent Main Parade or El Presidio clusters.
- 3.B.8.b Manage the height and placement of trees in this area to avoid blocking views between the Main Parade and Infantry Terrace.
- 3.B.8.c Maximize parking in the area south of Moraga Avenue.
- 3.B.8.d Minimize irrigated lawn within this cluster.
- 3.B.8.e Re-establish the row of Monterey Cypress trees which once lined the south side of Moraga Avenue.
- 3.B.8.f Develop new surface parking areas in this location to facilitate removal of parking from main historic areas. Focus on formerly built areas with low integrity such as former building pads.
- 3.B.8.g Consider placing a new ballfield in this cluster.



Figure 3-BB
Maximize parking at existing lot south of Moraga Avenue.

3.B.9 INFANTRY TERRACE

- 3.B.9.a Maintain the residential character of the historic landscape while respecting the stately character of the architecture.
- 3.B.9.b Select a plant palette that respects its historic decorative feeling. Identify existing heritage plants and protect them.
- 3.B.9.c Maintain the historic concrete walkways in width and alignment around the residences.
- 3.B.9.d Restore foundation plantings around the residences.
- 3.B.9.e Consider tree removal in the bowl immediately north of Infantry Terrace to reopen historic view corridors.



Figure 3-CC
Historic Forest and sloping topography characterize the Infantry Terrace landscape.

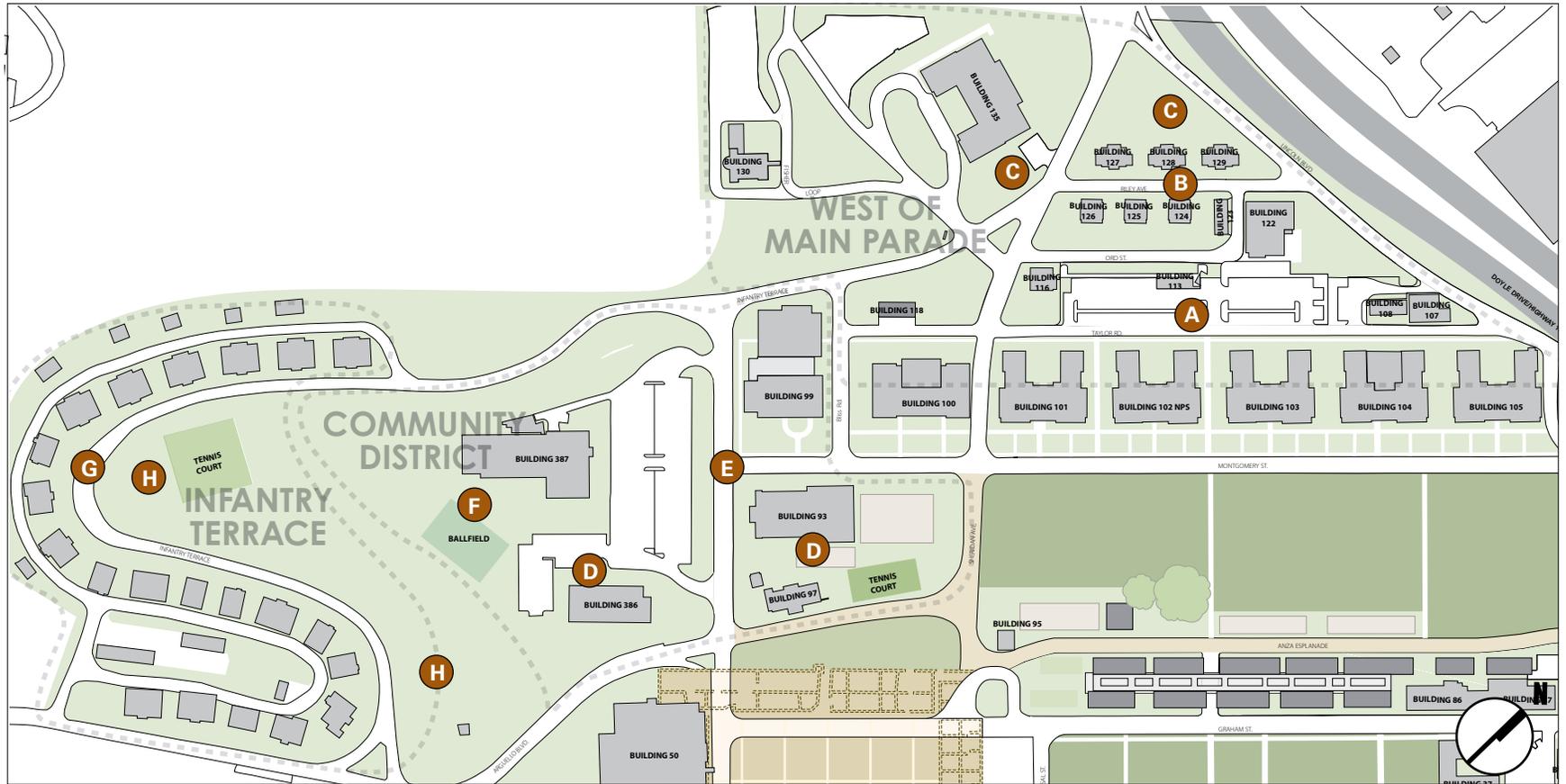


Figure 3-DD
 West of Main Parade, Community District and Infantry Terrace site plan.

- | | |
|---|--|
| A Functional character along Taylor Street | E Tree row on Moraga Avenue. |
| B Residential character of Riley Street | F Potential new ballfield. |
| C Replanted once part of the historic forest | G Residential character of Infantry Terrace |
| D Informal planting for Community District | H Tree removal to re-establish views to Main Parade |



4. Circulation and Access

4. CIRCULATION AND ACCESS

The Main Post has great potential to be a beautiful and walkable environment. However, it currently is not welcoming to pedestrians because of acres of asphalt parking lots and its system of discontinuous walkways. Changes to the Main Post will reorganize parking lots and replace some of the larger ones with green space. Pedestrian routes will be made continuous.

The Trust will continue to plan for and manage transit and parking so that the Presidio community and visitors will have alternative transportation options. The PresidiGo Shuttle will continue to connect the park to San Francisco and regional public transportation; those that continue to come by car will benefit from improvements to vehicular circulation and parking. Parking will be distributed around the perimeter of the Main Post.



Figure 4-A
The PresidiGo, the Trust's internal shuttle bus.

CHARACTER DEFINING FEATURES FOR CIRCULATION AND ACCESS

The road and sidewalk layout contributes to the historic character of the Main Post. In fact, many of the streets are listed as contributing resources in the Presidio's 1993 National Register update. They provide the framework for buildings and landscapes. These elements have character-defining features, which are listed in Figure 4-B.

CHARACTER-DEFINING FEATURES FOR CIRCULATION AND ACCESS
<ul style="list-style-type: none">• Layout of roads, driveways and sidewalks conforms to the Main Post's orthogonal grid in most cases, with few exceptions.• On-street parking characterized by parallel, rather than ninety-degree orientation.• Road and alley pairs are common, with alleys providing service access to buildings from the back. These road/alley pairs are:<ul style="list-style-type: none">Montgomery/TaylorFunston/MesaMoraga/HardieGraham/AnzaRiley/OrdInfantry Terrace/ Thomas and Sibert

Figure 4-B
Character-defining features for Circulation and Access.



Figure 4-C
Parallel on-street parking on Keyes Avenue.



Figure 4-D
Mesa Road is an example of a service road that provides access to the back of Building 35.

4.A GENERAL GUIDELINES FOR VEHICULAR CIRCULATION AND PARKING

2002 PTMP GUIDELINES FOR CIRCULATION AND ACCESS

- Simplify the road network, clarify the circulation system, and establish a hierarchy of routes at the Main Post, maintaining Lincoln Boulevard and Arguello Boulevard as the primary entrance roads to the post.
- Retain the historic Halleck Street connection to Crissy Field, and enhance this connection for pedestrian use.
- Consider removal or reduction in size of large surface parking lots. Consider options for parking to serve visitors and tenants. Locate smaller surface lots near buildings they serve.
- Develop a pedestrian and bicycle path network and connect key points within the Main Post. Consider limiting automobile traffic to re-establish “El Presidio” as a pedestrian zone.

The Main Post grew gradually over 225 years. The network of roads and pedestrian paths expanded in response to each building campaign and the construction of the three parade grounds, without consideration for legibility or ease of travel by outsiders. The road network also preceded automobiles and is not necessarily designed with their use in mind. The resulting road network and system of sidewalks is haphazard and confusing, especially to first-time park visitors and new tenants. Multiple roads lead to the same place and uniform road widths makes it hard to distinguish major roads from minor ones.

4.A.1 Develop a clear road system that eliminates redundancy and creates a simple network that is easy to navigate.

4.A.2 Using the existing geometric layout of major roads, frame the principal open spaces and connect to the main traffic corridors.

4.A.3 Focus major North/South automobile traffic on Montgomery Street, Graham Street, and Funston Avenue.

4.A.4 Focus major East/West traffic on Lincoln Boulevard and Moraga Avenue.

4.A.5 Install signage and selective road closures and improve certain intersections to allow first-time visitors will be able to tell, intuitively, whether they are traveling on primary or secondary roads.

4.A.6 Provide safe and efficient bicycle connections in both the North/South and East/West directions.

4.A.7 Retain existing historic roads; select closures to vehicular traffic is appropriate provided features still “read” as roads.

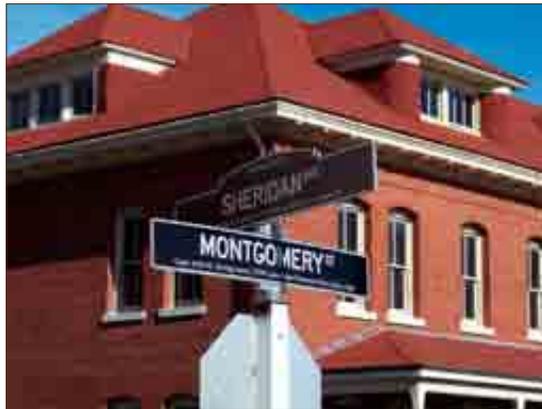


Figure 4-E
Distinct street signage to distinguish primary roads.

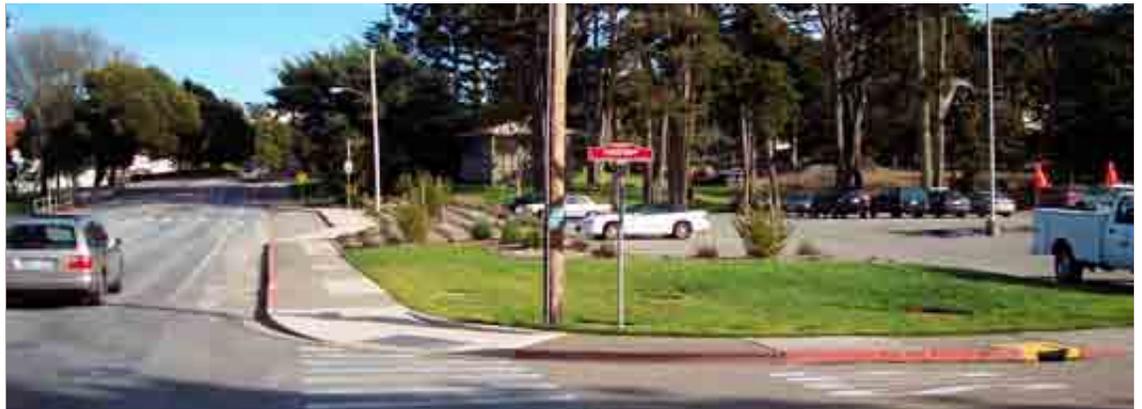


Figure 4-F
Lincoln Boulevard and Funston Avenue as main traffic corridors

Transportation Demand Management, Parking Strategies, and Public Transportation

The Presidio Trust has an aggressive Transportation Demand Management (TDM) program in place to reduce the impact of automobiles in the park. The program has set standards aimed at reducing auto use by encouraging alternative transportation options. The long-term goal is to reduce vehicle trips so that only 50 percent of external trips and 35 percent of internal trips are made by automobiles.

The benefits of removing the unsightly Main Parade parking lot are many, but replacement parking must also be provided in order to make this transformation a viable one. The strategy developed here is to replace the large, central lot with smaller, decentralized parking lots located close to and behind building clusters, putting the parking closer to the buildings it serves. Existing street parking will be preserved and new street parking will be added. In addition, locations for possible underground parking structures have been identified. The goal is to provide only the number of parking spaces needed in the Main Post. Tenants are expected to share available parking and will not receive “assigned” parking spaces. The Presidio Trust will ensure that sufficient parking is provided for tenants and visitors, but will regulate the parking supply to discourage excessive single-occupant vehicle trips.

The following are the guidelines for parking at the Main Post:

4.A.7 Provide parking in new and existing surface lots, along existing streets, and possibly, in underground parking structures.

4.A.8 Share tenant parking spaces, with no tenant having exclusive rights to any one parking area. Each tenant’s parking will be located within a reasonable walking distance (typically 1,500 feet or a five minute walk).

4.A.9 Provide parking spaces for people with disabilities as close as possible to each building’s accessible entrance.

4.A.10 Regulate parking by instituting parking fees and/or time restrictions.

4.A.11 Allocate both residential and non-residential tenants parking spaces in their leases. Allocations are calculated using standard formulas similar to those used by the City of San Francisco and other municipalities. Trust staff will use these parking allocations to ensure that the combined parking demand does not exceed supply, while still providing for shared efficient use of the Main Post’s parking.

4.A.12 Design new parking facilities to have minimal impact on the Main Post’s historic landscape setting.

4.A.13 To help reduce large, centralized lots, street parking may be installed, provided it has minimal impact on historic roadway widths, alignments, curb lines, or other character-defining features of historic resources.

4.A.14 Concentrate new surface lots in areas behind historic building ensembles, and in areas of low historic integrity (such as former building pads).

4.A.15 Meet vehicle trip reduction goals by improving the availability of public transportation and other alternatives to single-occupant vehicle trips.

4.A.16 Encourage tenants to creatively think about ways to reduce automobile dependence for their employee/client population. Adopting customized TDM measures is highly valued.

4.A.17 Use of the PresidiGo Shuttle which accommodates internal Presidio trips and provides connections to Muni, BART and AC Transit.

4.A.18 Ride sharing, carpooling, and participation in the “Guaranteed Ride Home” program.

4.A.19 Participation in the “Commuter Check” program for employees who use public transportation.

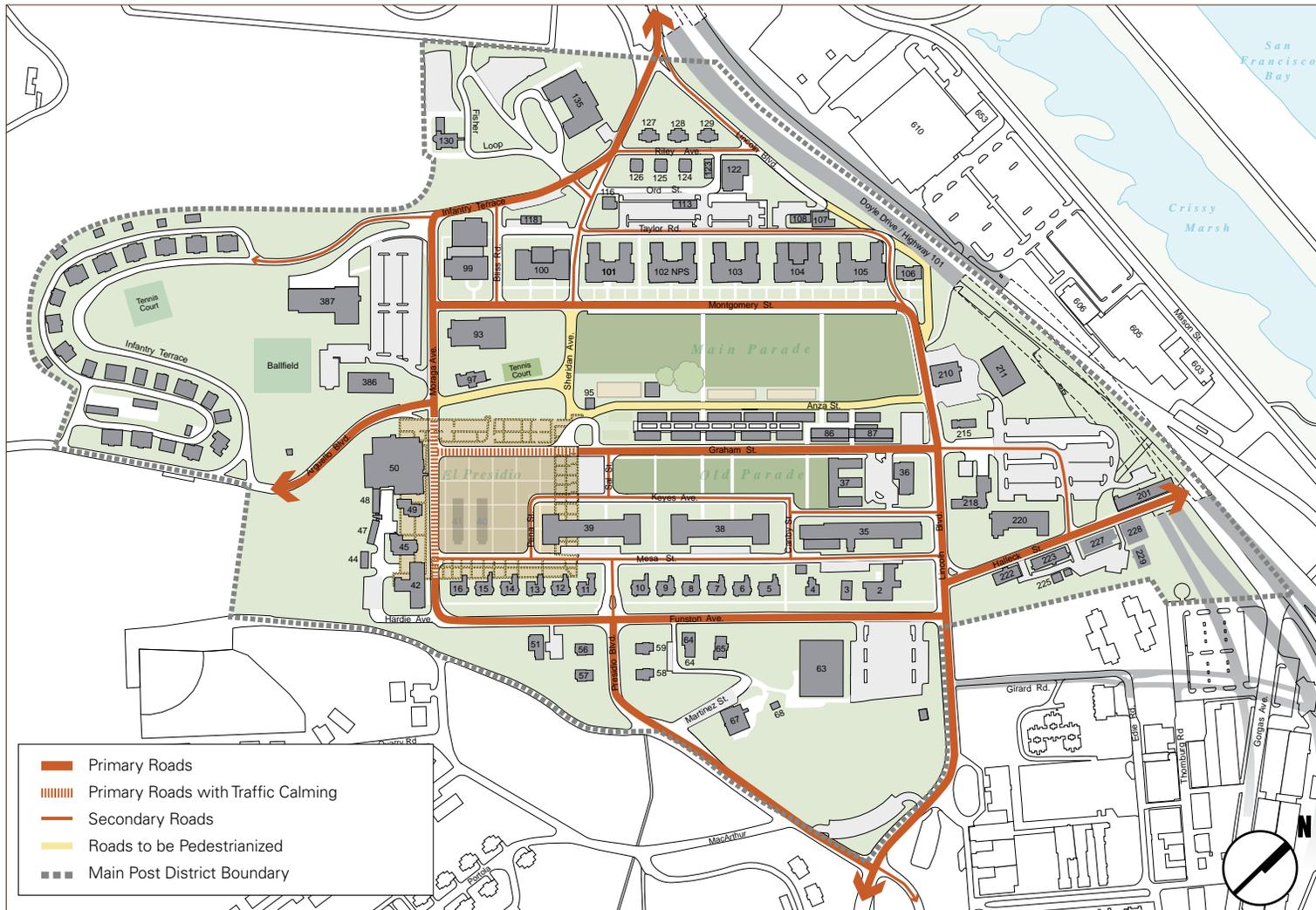


Figure 4-G

Automobile circulation will be kept to the periphery of the Main Post, using three main north/south roads and two main East/West roads. The other roads will become secondary routes, and certain roads or sections of roads will be closed to vehicles.

4.B General Guidelines for Pedestrian Circulation

The system of sidewalks and pedestrian paths will be improved so that continuous East/West circulation is provided, crossing the open spaces as required. A major North/South pedestrian circulation spine will be provided which follows the alignment of Anza Street, and extends in both directions to link the Officers' Club to the Transit Center, and will continue north to Crissy Field. This spine, to be called the Anza Esplanade, will help organize the visitor's experience at the Main Post, providing a pleasant, car-free circulation zone that contains visitor amenities, wind-protected seating areas, and interpretive materials. By including trees, small-scale structure and other landscape elements, it will provide a more intimately scaled setting than the large open spaces of the two Parade Grounds provide. It will link the major visitor destinations, starting at the Crissy Field Center, and ending at the Officers' Club. Visitors arriving at the Transit Center will walk directly onto this pedestrian corridor. It will be a staging area for ranger tours, an outdoor place for tenants and visitors to have lunch, and a setting for many individual and group activities.

4.B.1 Provide a pedestrian network that links peripheral parking lots and transit stops to visitor destinations and amenities.

4.B.2 Selectively pedestrianize roads and provide car-free zones to accommodate activities and public programs, and to create major pedestrian circulation routes.

4.B.3 Promote safety and security on pedestrian routes and at intersections. Utilize signs to alert motorists to the presence of pedestrians.

4.B.4 Enhance pedestrian's experience at the Presidio with directional signage, interpretive waysides, site furnishings and shuttle stops. Create landscape buffers zones to separate sidewalks and trails from vehicular traffic lanes.



Figure 4-H
Visitor amenities and informational kiosk at the Transit Center.



Figure 4-I
Site furnishings, such as benches and waste receptacles along prominent pedestrian routes.

4.B.5 Where required by accessibility standards, the quantity and locations of ramps, curb cuts and ADA loading zones on historic roads to achieve universal access should have minimal impact on the historic scene, and should be the minimum required to meet accessibility standards.



Figure 4-J
Landscape-beds align part of the Presidio Promenade.

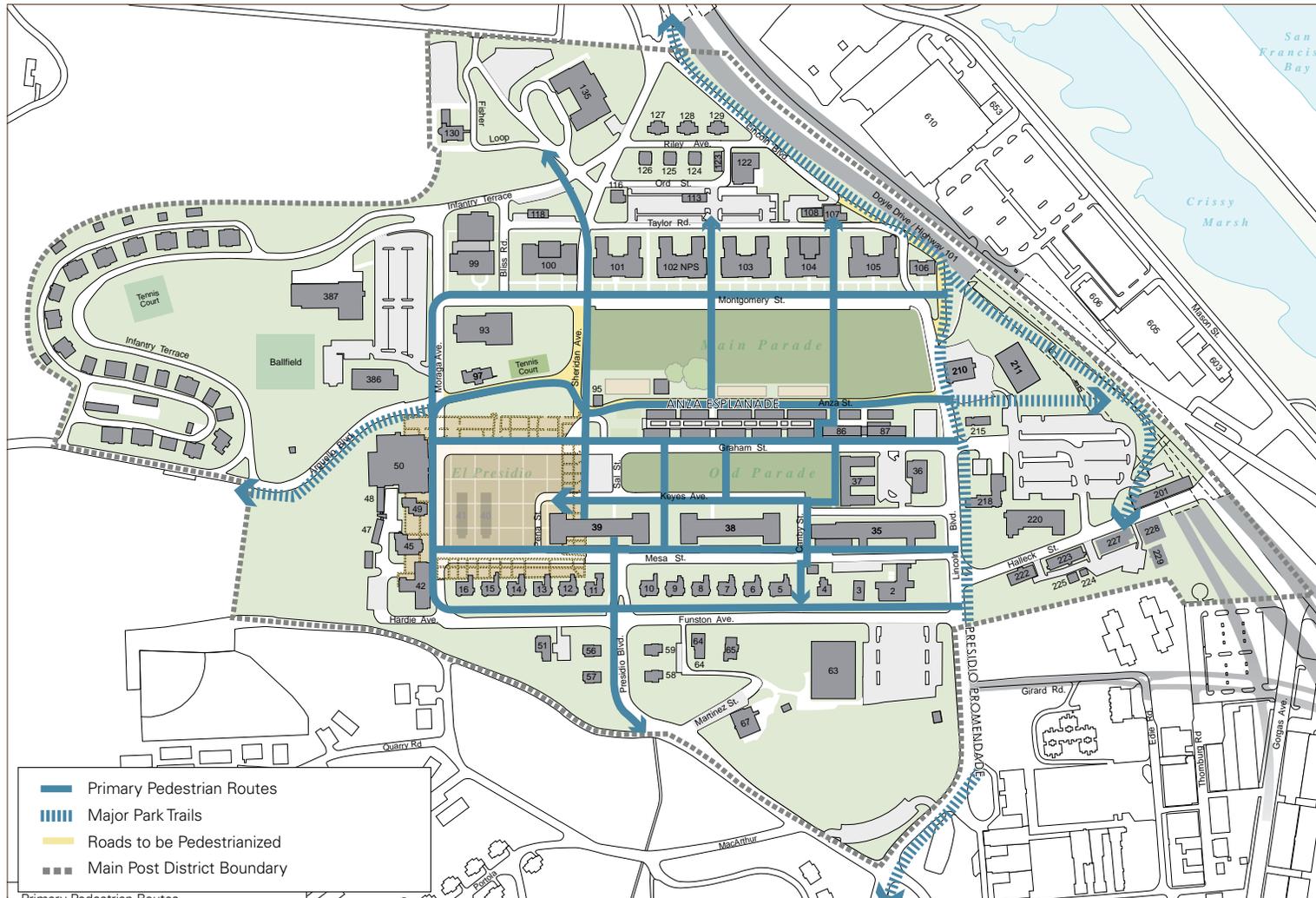


Figure 4-K
 Pedestrian circulation diagram shows the proposed primary pedestrian routes planned for the Main Post

BIBLIOGRAPHY

National Park Service, U.S. Department of Interior (NPS):

1993, *National Register of Historic Places Inventory—Nomination Form, Presidio of San Francisco*.

1994, “Management of Cultural Landscapes” chapter in NPS-28: *Cultural Resources Management Guidelines*. Washington, D.C.

1995, *Guidelines for Rehabilitating Buildings at the Presidio of San Francisco*. Prepared for the National Park Service by Architectural Resources Group (ARG).

1996, *The Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes*.

Presidio Trust:

1999, Draft Green Building Guidelines for the Presidio of San Francisco. San Francisco, CA.

2000, *Final Planning and Design Guidelines for New Development and Uses on 23 Acres Within the Letterman Complex*. San Francisco, CA.

2002, *Principles for the Future: A Cultural Landscape Assessment of the Main Post*, Prepared for the Presidio Trust by SMWM, San Francisco, CA.

2002, *Principles for the Future: A Cultural Landscape Assessment of the Main Post- Main Post Cluster Area Analysis*, Prepared for the Presidio Trust by SMWM, San Francisco, CA.

2002, *Presidio Trust Management Plan Land Use Policies for Area B of the Presidio of San Francisco*, San Francisco, CA.

2008, *National Historic Landmark District Update: Presidio of San Francisco*, San Francisco, California. Prepared by Page & Turnbull.

2010, *Main Post Update to the Presidio Trust Management Plan*, San Francisco, CA.

Thompson, Erwin N.

1995, *Defender of the Gate: The Presidio of San Francisco, A History from 1846 to 1995*. (Historic Resource Study). Volumes I and II.

U.S. Green Building Council

2006, *LEED for New Construction v2.2 Reference Guide*. Washington, D.C.

Note: All of these publications except the LEED reference guide are available at the Presidio Trust Library, 34 Graham Street.



